

ID	DOOR LEAF					DOOR FRAME			DETAILS			HW SET	NOTES
	TYPE	W x H	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SIDELITE		
1	F2	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL2	HM	PAINT	A4	A1	A5, A6 & B5	3	3, 4, 6
2	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	HM2	HM	PAINT	A4	A1 & A2		1	3
3A	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL4	HM	PAINT	A4	A1	A5, A6 & B5	1	1
3B	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL4	HM	PAINT	A4	A1	A5, A6 & B5	1	1
4	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL1	HM	PAINT	A4	A1 & A2	A5, A6 & B5	1	2
5	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL2	HM	PAINT	A4	A1 & A2	A5, A6 & B5	1	2
6	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL1	HM	PAINT	A4	A1 & A2	A5, A6 & B5	1	2
7	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL2	HM	PAINT	A4	A1 & A2	A5, A6 & B5	1	2
8	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL1	HM	PAINT	A4	A1 & A2	A5, A6 & B5	1	2
9	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL3	HM	PAINT	A4	A1 & A2	A5, A6 & B5	2	3
10	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	HM2	HM	PAINT	A4	A1 & A2		1	3
11	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL1	HM	PAINT	A4	A1 & A2	A5, A6 & B5	1	2
12	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL1	HM	PAINT	A4	A1 & A2	A5, A6 & B5	1	2
13	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL1	HM	PAINT	A4	A1 & A2	A5, A6 & B5	1	2
14	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL1	HM	PAINT	A4	A1 & A2	A5, A6 & B5	1	2
15	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	HM2	HM	PAINT	A4	A2		4	2
16	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	SL2	HM	PAINT	A4	A1 & A2	A5, A6 & B5	1	2
17	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	HM2	HM	PAINT	A4	A1 & A2		4	3
18	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	HM2	HM	PAINT	A4	A2		1	3
19	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	HM2	HM	PAINT	A4	A1 & A2		1	3
20	F1	3'-0"x7'-0"	0'-1 3/4"	WD	STAIN	HM2	HM	PAINT	A4	A1 & A2		5	4, 5

**HARDWARE SCHEDULE:**

ALL SETS TO INCLUDE HINGES AND SILENCERS TO MATCH THOSE ON EXISTING DOORS. ALL DOORS IN A RATED WALL TO BE EQUIPPED WITH A CLOSER. INCLUDE WALL STOP FOR ALL DOORS OPENING AGAINST WALL.

SET 01: ADA COMPLIANT OFFICE LOCKSET TO MATCH EXISTING.

SET 02: ADA COMPLIANT PUSH/ PULL FREE EGRESS AND INGRESS

SET 03: ADA COMPLIANT ENTRY LOCKSET HARDWARE AS NECESSARY TO SUPPORT CARD READER

SET 04: ADA COMPLIANT STORAGE LOCKSET, MATCH EXISTING

SET 05: REUSE SALVAGED HARDWARE. CONNECT DOOR TO SALVAGED CARD READER. TIE DOOR TO FIRE ALARM SYSTEM. DOOR TO ALLOW FREE EGRESS WHEN ALARM SOUNDS, BUT OTHERWISE ACCESS WOULD BE LIMITED BY THE CARD READER. COORDINATE WITH ELECTRICAL & OWNER'S SECURITY CONSULTANT.

**ROOM FINISH SCHEDULE**

RM #	ROOM NAME	FLOOR		WALL		CEILING	REMARKS
		FINISH	BASEBOARD	MATERIAL	FINISH		
441	PROB.OFF.	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
441A	PROB.OFF.	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
442	VACANT	ETR	ETR	GYPSON BOARD		ETR	1
443	LOBBY	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT / GWB	4
443A	COPY	LVT	RUBBER	GYPSON BOARD	PAINT	ACT	4
443B	CONFERENCE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT / GWB	4
443C	OFFICE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443D	INVEST.	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443E	OFFICE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443F	BACK ENTRY	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443G	OFFICE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443H	CHIEF ATTY.	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT / GWB	4
443I	HALL	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT / GWB	4
443J	OPEN OFFICE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT / GWB	4
443K	BREAK	LVT	RUBBER	GYPSON BOARD	PAINT	ACT / GWB	4
443L	OPEN OFFICE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT / GWB	4
443M	CHIEF ATTY.	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT / GWB	4
443N	OFFICE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443O	OFFICE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443P	OFFICE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443Q	OPEN OFFICE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT / GWB	4
443R	IT	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443S	STG	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443T	IT	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443U	FIRE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443V	OPEN OFFICE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
443W	IT STORAGE	CARPET	RUBBER	GYPSON BOARD	PAINT	ACT	4
495	CORRIDOR	ETR	ETR/ ME	GYPSON BOARD	ME / PAINT	ETR	2, 5
4100	CORRIDOR	ETR/ ME	ETR/ ME	ETR/ ME	ME / PAINT	ETR	3

**ABBREVIATIONS:**

ACT = ACOUSTICAL CEILING TILE  
 ETR = EXISTING TO REMAIN  
 GWB = GYPSON WALL BOARD  
 ME = MATCH EXISTING  
 LVT = LUXURY VINYL TILE

**FINISH REMARKS:**

- EXISTING FINISHES IN THIS AREA ARE TO REMAIN. NEW WALLS TO BE TAPED & SPACKLED ONLY.
- MODIFY FINISHES AS REQUIRED TO ACCOMMODATE NEW WALL AND DOOR. ALL FINISHES TO MATCH EXISTING ADJACENT FINISHES. ALL WORK PART OF ADD ALTERNATE 4. PATCH ALL ADJACENT FINISHES TO MATCH EXISTING WHERE WALL AND DOOR ARE REMOVED.
- PATCH WALLS, FLOORS, AND BASE TO MATCH EXISTING. WALL BASE TO BE REPLACED FROM CORNER TO CORNER OF WALL. ALL WORK PART OF ADD ALTERNATE 4.
- AS PART OF ADD ALTERNATE 5, REPLACE RUBBER BASE WITH 1X6 PAINT GRADE WOOD BASE W/ BULLNOSED TOP.
- AS PART OF ADD ALTERNATE 6, EXTEND CARPET IN CORRIDOR 485 DOWN TO NEW DOOR 20 (ADDED AS PART OF ADD ALTERNATE 4). COLOR AND PATTERN TO MATCH EXISTING CARPET TILE IN BOTH COLORWAY AND INSTALL PATTERN.

**GENERAL FINISH COMMENTS:**

CARPET: SHAW CARPET TILES.  
 SEQUENCE: UNITY  
 COLORWAY: HARVEST JEWEL  
 INSTALL PATTERN: QUARTER TURN  
  
 LVT: SHAW LVT  
 STYLE: TERAIN II, 20 MIL, 0454V  
 COLOR: SUMMIT  
 INSTALL PATTERN: STAGGER, RUN IN EAST/WEST DIRECTION

PAINT SELECTIONS:  
 WOOD BASES: BLACK TO MATCH EXISTING  
 RUBBER BASES: BURKE UNI COLOR, TP, COVE, 701 BLACK

WALLS: PILLAR #40YY 67/C87 EXCEPT WHERE NOTED AS AN ACCENT WALL.

ACCENT WALLS: ONE OF THE FOLLOWING COLORS AS SELECTED BY THE ROOM OCCUPANT. SEE A2/A102 FOR ACCENT WALL LOCATIONS. COORDINATE WITH THE PDO'S DESIGNATED ONSITE REPRESENTATIVE.

CROWNHILL #70GG 27/105  
 BASKETRY #20YY 31/205  
 MOONLIGHT DRIVE #30BB 14/242

GYPSON CEILING PAINT: TO MATCH EXISTING  
 CEILING TILE: TO MATCH EXISTING

PROVIDE NEW WOOD WALL BASE TO MATCH EXISTING AT ALL NEW WALLS (BOTH SIDES) AND AT ALL DOOR INFILLS. SPECIES TO MATCH EXISTING. SALVAGED BASE CAN BE REUSED IF IT IS IN GOOD REPAIR. WHERE MORE THAN ONE BASE PROFILE EXISTS REMOVE SHORTER BASE AND REPLACE WITH THE TALLER PROFILE. USE ONLY ONE PROFILE WITHIN ANY GIVEN ROOM.

VERTICAL LAMINATE:  
 WALL CABINETS: FORMICA, OR ARCHITECT APPROVED EQUIVALENT  
 COLOR: WINTER GREY  
 FINISH: GLOSS (FINISH CODE 90)

VERTICAL LAMINATE:  
 COUNTERTOP: FORMICA, OR ARCHITECT APPROVED EQUIVALENT  
 COLOR: PALOMA DARK GREY  
 FINISH: Etchings - PREMIUMix (Finish Code: 46)

HORIZONTAL LAMINATE:  
 COUNTERTOP: FORMICA, OR ARCHITECT APPROVED EQUIVALENT  
 COLOR: PALOMA DARK GREY  
 FINISH: Etchings - PREMIUMix (Finish Code: 46)

**ABBREVIATIONS:**

F1 = FLUSH  
 F2 = FLUSH ENTRANCE  
 F.V. = FIELD VERIFY  
 HM = HOLLOW METAL  
 T = TEMPERED  
 WD = SOLID CORE WOOD

**DOOR SCHEDULE NOTES:**

- THE DOOR FRAME LISTED IS PART OF ADD ALTERNATE 1. UNDER THE BASE BID, FRAME TYPE HM2 WILL BE USED.
- THE DOOR FRAME LISTED IS PART OF ADD ALTERNATE 2. UNDER THE BASE BID, FRAME TYPE HM2 WILL BE USED.
- THE DOOR FRAME LISTED IS PART OF THE BASE BID.
- DOOR TO HAVE A CARD READER. COORDINATE WITH ELECTRICAL & OWNER'S SECURITY CONSULTANT.
- PART OF ADD ALTERNATE 4.
- TIE DOOR HARDWARE TO BUTTON LOCATED AT ADJACENT RECEPTION DESK TO ALLOW ENTRY WHEN BUTTON IS PUSHED. COORDINATE WITH ELECTRICAL AND OWNER'S SECURITY CONSULTANT.

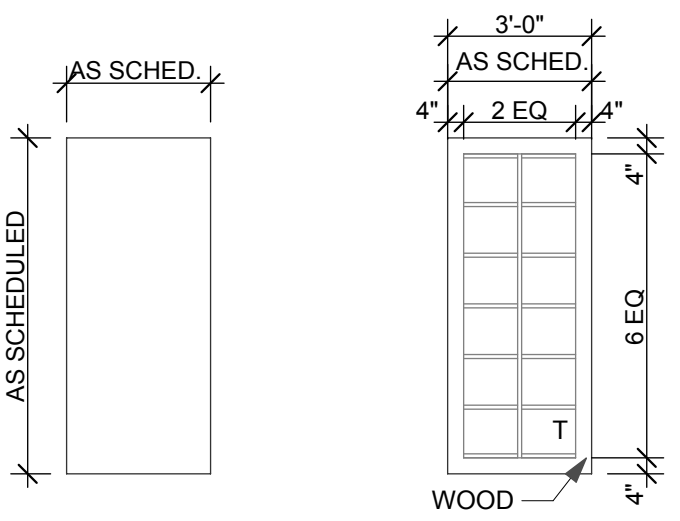
**GENERAL COMMENTS:**

- DOORS THAT ARE NOT IDENTIFIED ON THE PLANS WITH A DOOR NUMBER ARE EXISTING TO REMAIN.
- NEW WOOD DOORS TO MATCH EXISTING IN STYLE, WOOD SPECIES AND FINISH. SUBMIT STAINED SAMPLE FOR VERIFICATION AND APPROVAL.
- SEE HARDWARE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
- AT LOCATIONS WHERE DOORS ARE TO BE INSTALLED IN EXISTING WALLS, KNOCK DOWN FRAMES MAY BE UTILIZED.
- ALL DOOR HARDWARE ON EGRESS PATH AND ON OFFICE DOORS TO BE ADA COMPLIANT.

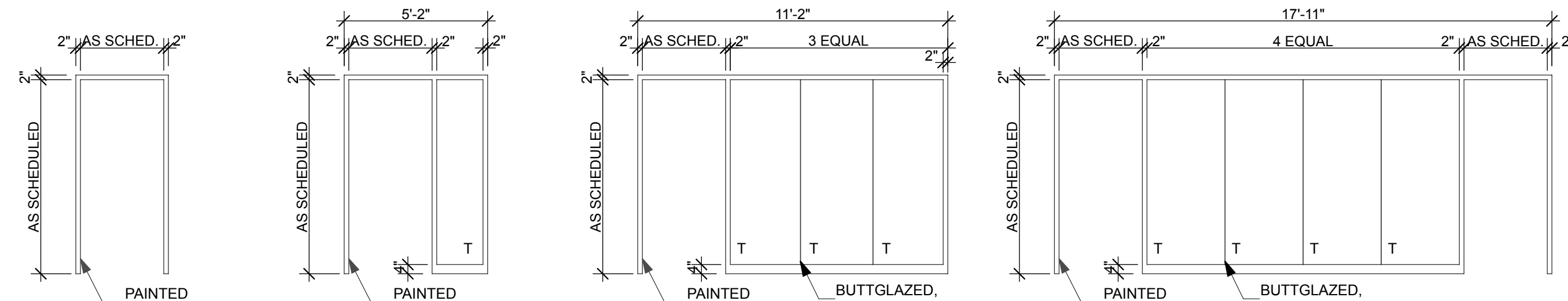
**E1 DOOR SCHEDULE**

SCALE: 1" = 1'-0"

**DOOR TYPE:**



**FRAME TYPES:**

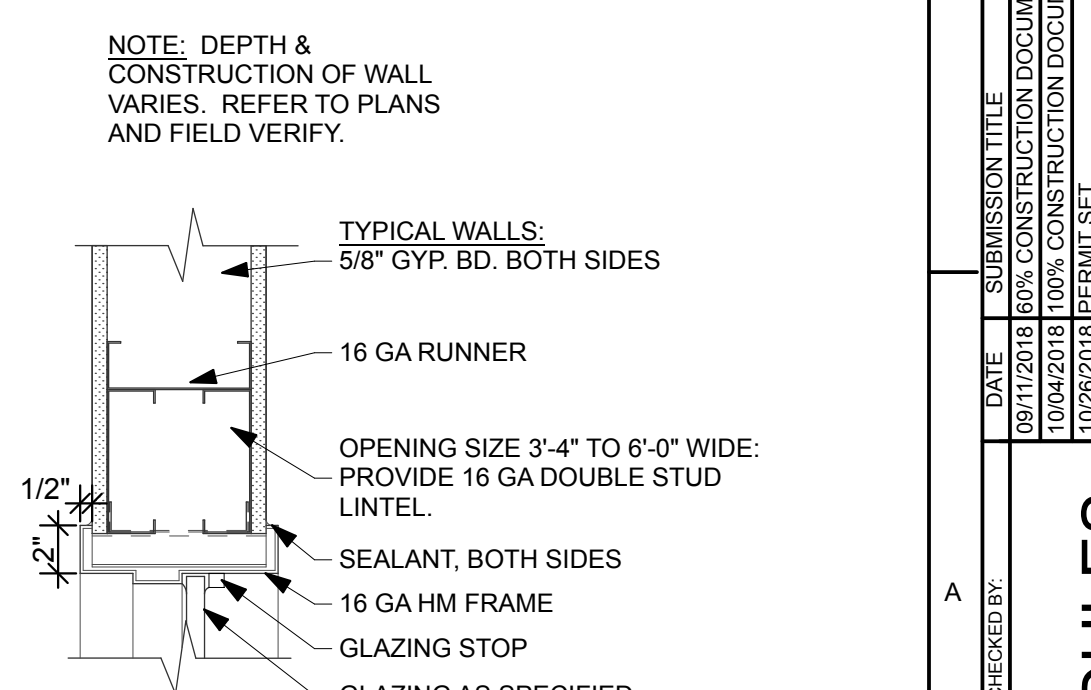
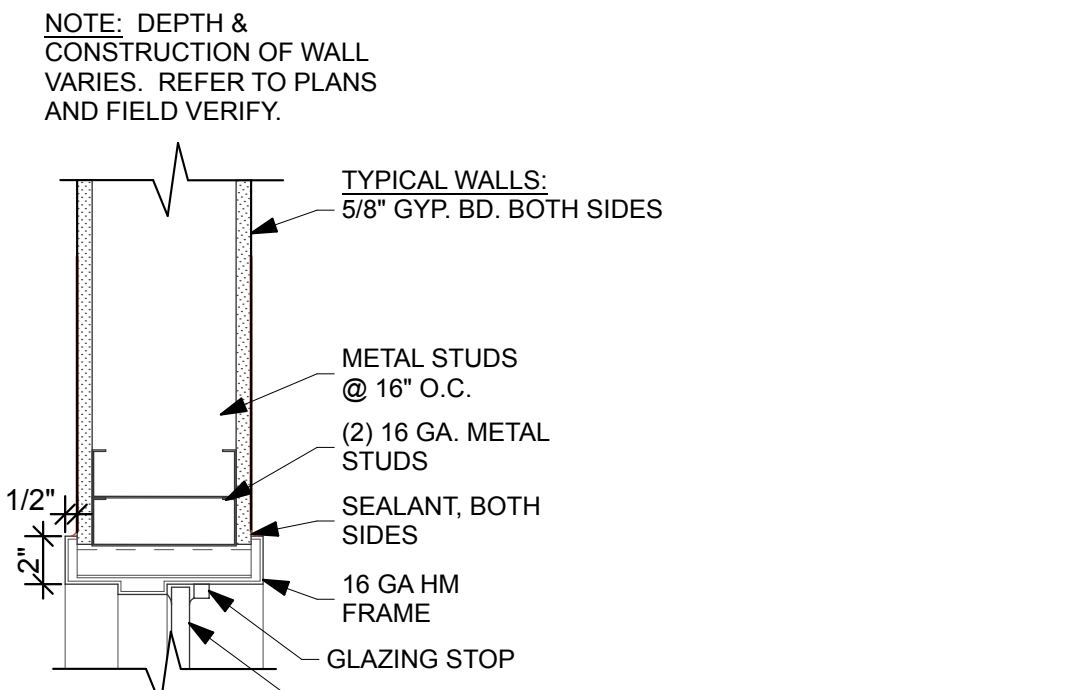
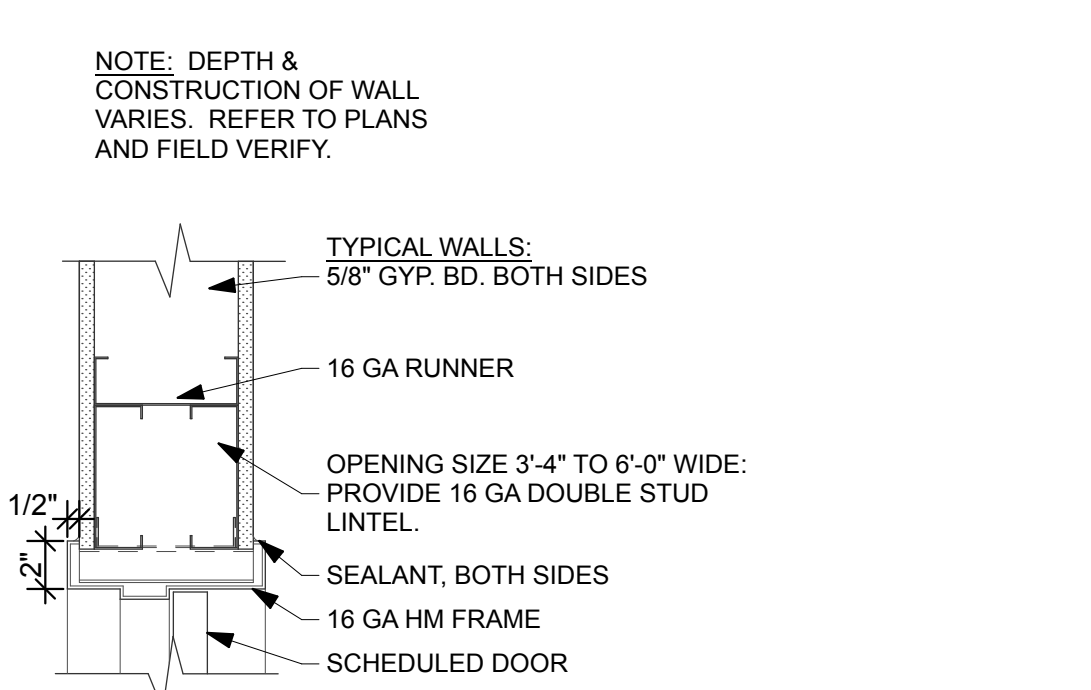
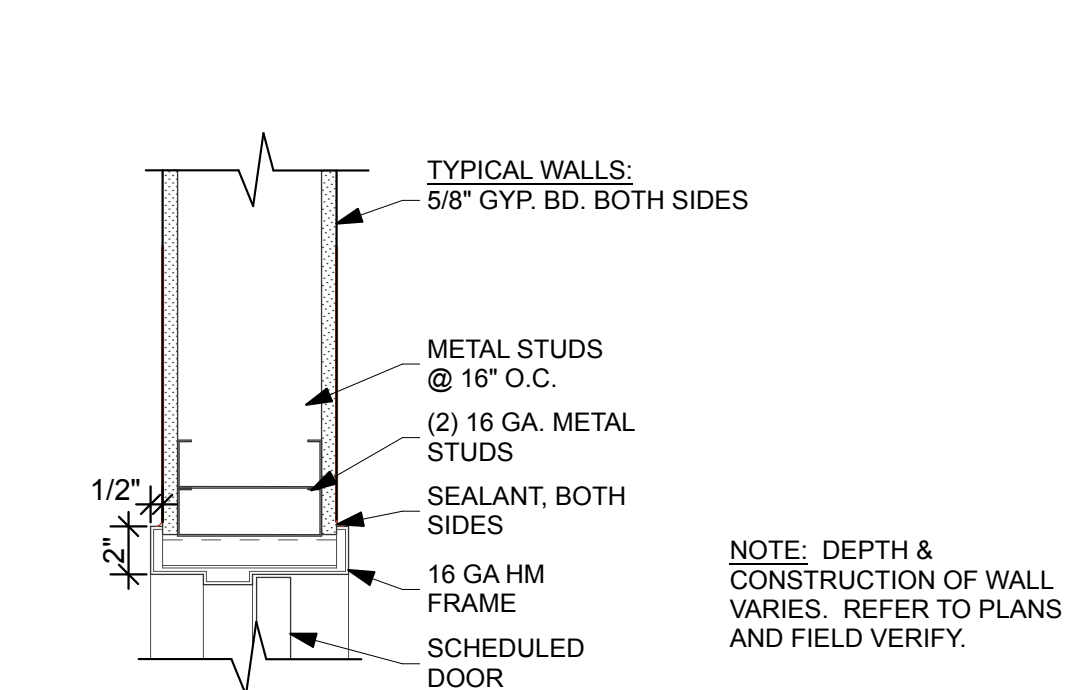
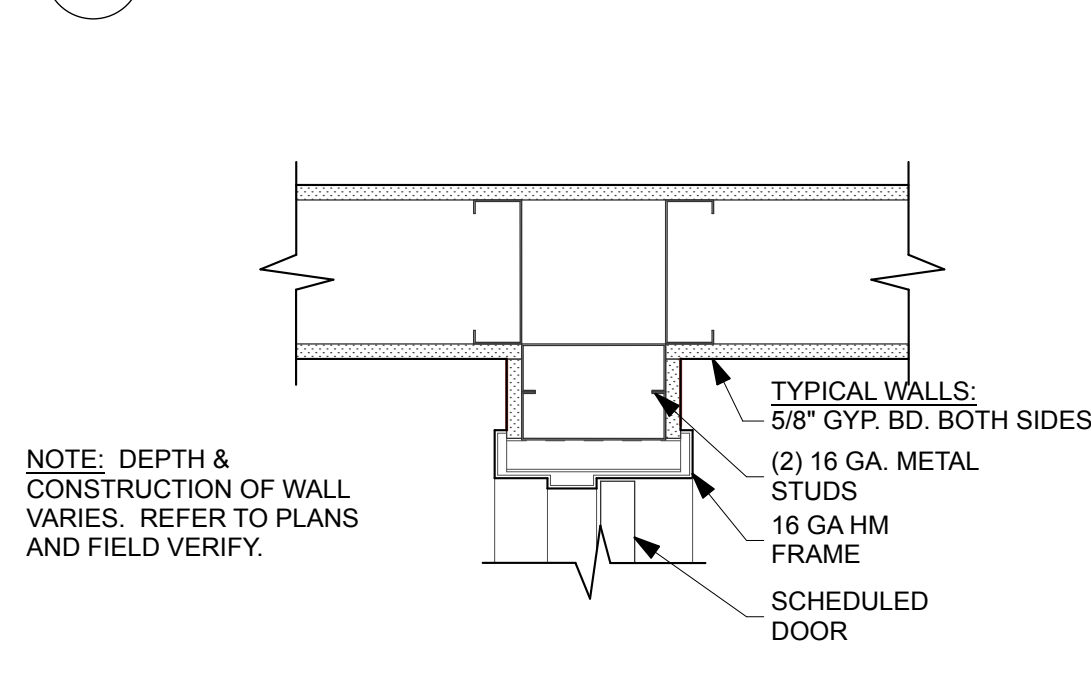


**ABBREVIATIONS:**

T = TEMPERED

**B1 DOOR & FRAME TYPES**

SCALE: 1/4" = 1'-0"



**A1 DOOR JAMB AGAINST WALL**

SCALE: 1 1/2" = 1'-0"

**A2 TYPICAL DOOR JAMB**

SCALE: 1 1/2" = 1'-0"

**A4 TYPICAL DOOR HEAD**

SCALE: 1 1/2" = 1'-0"

**A5 TYPICAL SIDELITE JAMB**

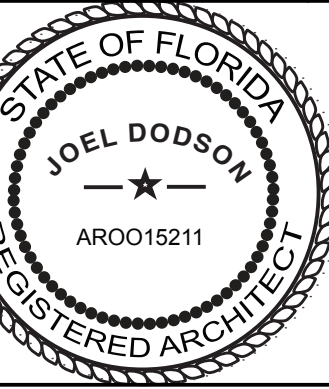
SCALE: 1 1/2" = 1'-0"

**A6 TYPICAL SIDELITE HEAD**

SCALE: 1 1/2" = 1'-0"

OFFICE OF THE STATE ATTORNEY,  
 SECOND JUDICIAL CIRCUIT  
 4th Floor Renovation,  
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 301 S. MONROE ST.  
 TALLAHASSEE, FL 32301  
 PROJECT NUMBER: 16207

**DODSTONE ARCHITECTS**  
 JOEL DODSON  
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 ARO015211



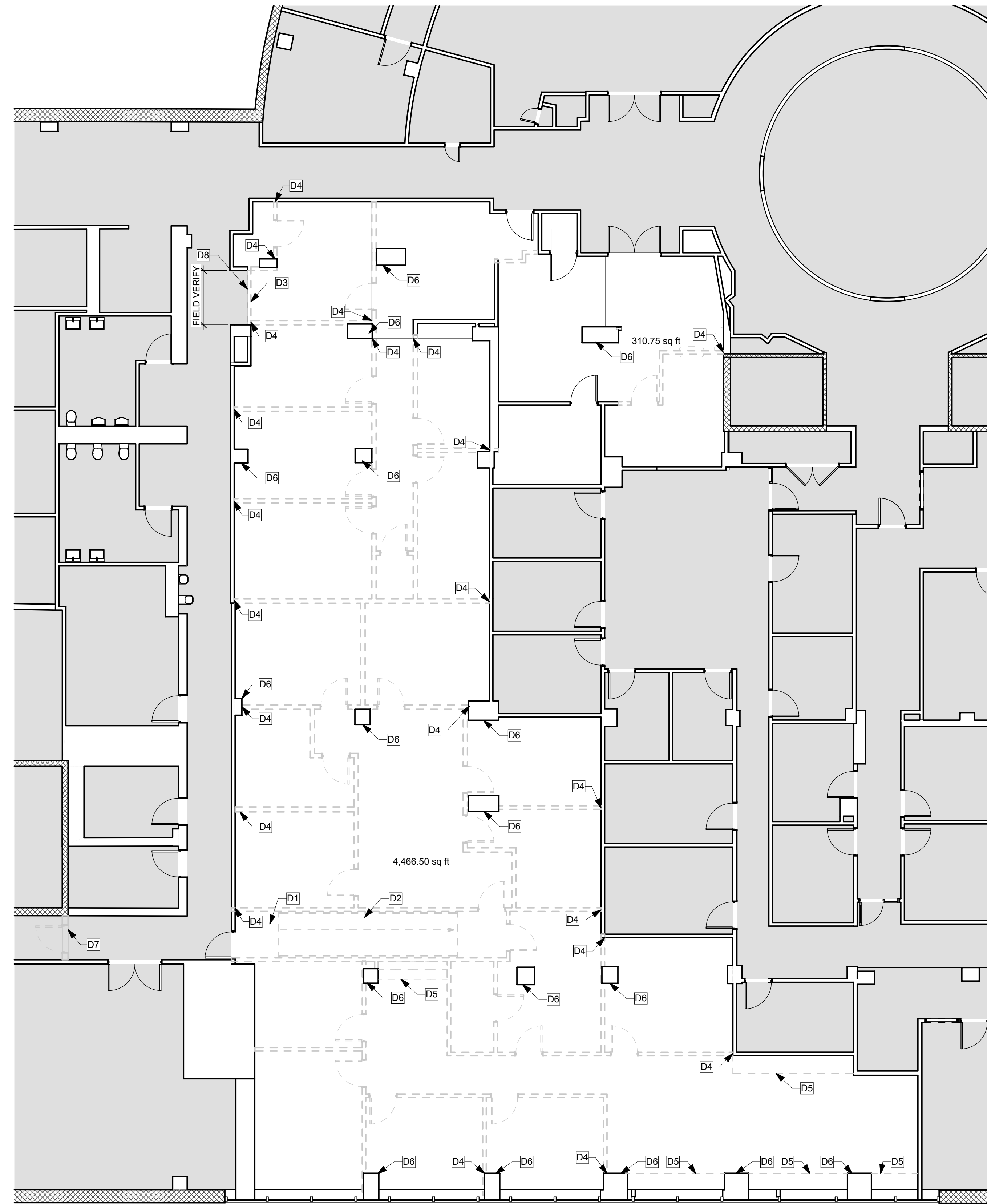
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	10/27/2016 10% CONSTRUCTION DOCUMENTS
	10/28/2016 10% CONSTRUCTION DOCUMENTS
	10/28/2016 PERMIT SET
DATE	REVISION TITLE

**SCHEDULES**  
**A100**

GENERAL DEMOLITION NOTES:

1. ALL NOTES AND DETAILS SHOULD BE CONSIDERED TYPICAL UNLESS OTHERWISE NOTED.
2. UNLESS OTHERWISE NOTED, PATCH ALL EXISTING FINISHES AFFECTED BY THE WORK TO MATCH ADJACENT SURFACES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL NECESSARY PLUMBING AND ELECTRICAL COMPONENTS TO PROVIDE A COMPLETE, COMPLIANT, AND FULLY FUNCTIONAL SYSTEM. GC TO INSPECT THE SITE PRIOR TO BIDDING TO GAIN A FULL UNDERSTANDING OF THE SCOPE OF WORK. PLUMBING WORK IS LIMITED TO THE POSSIBLE RELOCATION OF CONCEALED LINES LOCATED IN WALLS SLATED FOR DEMOLITION AND THE RELOCATION OF EXISTING SPRINKLER HEADS.
4. UNLESS OTHERWISE NOTED, REMOVE ALL DEMOLISHED MATERIALS AND WASTE FROM THE PREMISES AND DISPOSE OF IN A LEGAL FASHION.
5. SEE FINISH SCHEDULE FOR ALL INTERIOR FINISHES.
6. CONTRACTOR TO FIELD VERIFY ALL AS-BUILT AND AS COMPLETED DIMENSIONS PRIOR TO PURCHASING AND PRIOR TO INSTALLING ALL MATERIALS.
7. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHOULD BE ASSUMED TO REMAIN. CONTRACTOR TO PROTECT ALL ITEMS TO REMAIN. ANY DAMAGE OCCURRING AS A RESULT OF DEMOLITION OR CONSTRUCTION ACTIVITIES ARE TO BE REPAIRED TO MATCH THE CONDITION AT THE START OF THE PROJECT. CONTRACTOR IS ADVISED TO DOCUMENT EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
8. GC TO SELECTIVELY REMOVE SLABS AND/OR WALLS REQUIRED TO ACCESS UTILITY LINES AS NEEDED. ALL AREAS TO BE PATCHED TO MATCH EXISTING UNLESS NOTED OTHERWISE.
9. FAILURE BY THE GC TO VISIT THE PREMISES TO ASSESS THE FULL SCOPE OF THE PROJECT WILL NOT BE GROUNDS FOR A CHANGE ORDER. GC MUST VISIT THE SITE PRIOR TO SUBMITTING A BID.
10. THE AREA OF WORK WILL NOT BE OCCUPIED DURING THE RENOVATION, HOWEVER THE REST OF THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION. EGRESS PATHS AND ACCESS TO THE RESTROOMS MUST BE MAINTAINED AT ALL TIMES. ANY INTERRUPTIONS IN POWER, DATA, OR WATER MUST BE SCHEDULED IN ADVANCE WITH THE OWNER.
11. REMOVE ALL ITEMS HANGING ON WALLS IN AREA OF WORK. TURN OVER TO OWNER FOR THEIR REUSE. REPLACE ANY ITEMS DAMAGED DURING DEMOLITION OR CONSTRUCTION ACTIVITIES TO MATCH EXISTING. REPAIR ANY RESULTING VOIDS IN ANY EXISTING WALLS TO REMAIN. FINISH TO MATCH ADJACENT SURFACES.
12. REMOVE ALL UTILITY LINES MOUNTED ON OR CONCEALED WITHIN WALLS SLATED FOR REMOVAL. CAP ABANDONED LINES AS REQUIRED BY CODE. MAINTAIN POWER/WATER ETC. TO ITEMS DOWNSTREAM OF ITEMS IDENTIFIED FOR REMOVAL.
13. SURFACE APPLIED CONDUIT ONTO GYPSUM STUD WALLS WILL NOT BE ACCEPTED. CONCEAL ALL ELECTRICAL LINES WITHIN THE WALLS. CUT INTO AND PATCH WALLS AS REQUIRED.
14. REMOVE ALL EXISTING CEILINGS AND LIGHT FIXTURES FROM THE WORK AREA ALONG WITH ALL ASSOCIATED ATTACHMENT DEVICES.
15. REMOVE EXISTING FLOOR FINISHES AND WALL BASE FROM THROUGHOUT THE DESIGNATED WORK AREA, EXCEPT WHERE NOTED AS ETR (EXISTING TO REMAIN) ON THE FINISH SCHEDULE.



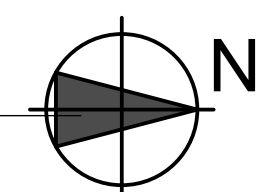
- EXISTING 1-HOUR RATED WALL TO REMAIN. CONSTRUCTION VARIES. ALL EXISTING RATINGS MUST BE MAINTAINED. MATCH EXISTING CONSTRUCTION.
- EXISTING UNRATED WALL TO REMAIN. THICKNESS AND CONSTRUCTION OF WALLS VARY.
- EXISTING WALL TO BE DEMOLISHED. CONSTRUCTION VARIES.
- EXISTING DOOR TO BE DEMOLISHED. REMOVE ALL ASSOCIATED HARDWARE.
- EXISTING DOOR TO REMAIN

**E5** DEMOLITION LEGEND  
SCALE: 1/8" = 1'-0"

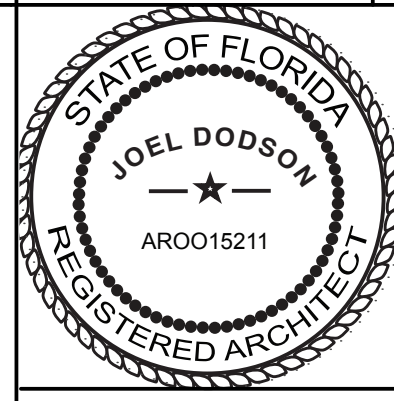
SPECIFIC DEMOLITION NOTES:

- D1. REMOVE EXISTING RAISED FLOOR DOWN TO STRUCTURAL SLAB BELOW. REMOVE ALL ASSOCIATED FINISHES AND ATTACHMENT DEVICES.
- D2. REMOVE EXISTING RAMP AND ALL ASSOCIATED STRUCTURAL SUPPORT DOWN TO (BUT NOT INCLUDING) THE STRUCTURAL SLAB BELOW. REMOVE THE ASSOCIATED GRAB BARS ON EITHER SIDE.
- D3. REMOVE EXISTING WALL AS REQUIRED TO INSTALL THE SCHEDULED DOOR. RELOCATE ANY LINES CONCEALED WITHIN THE WALL AS REQUIRED TO MAINTAIN FULLY FUNCTIONAL SYSTEMS UPSTREAM AND DOWNSTREAM.
- D4. PATCH FINISHES BEHIND/NEXT TO DEMOLISHED WALL TO MATCH FINISHES ON ADJACENT SURFACES TO REMAIN.
- D5. REMOVE ALL EXISTING CABINETS OR BUILT IN SHELVING FROM THE AREA OF WORK. PATCH WALL BEHIND AS NECESSARY TO RECEIVE FINAL FINISHES.
- D6. EXISTING COLUMN AND COLUMN ENCLOSURE TO REMAIN.
- D7. PART OF ADD ALTERNATE 4. REMOVE EXISTING DOOR AND DOOR FRAME. SALVAGE HARDWARE FOR REUSE WHERE POSSIBLE. WHERE NOTE POSSIBLE, REPLACE W/NEW TO MATCH EXISTING. REMOVE EXISTING TO HEIGHT IN LINE W/EXISTING DOOR HEADER.
- D8. PART OF ADD ALTERNATE 6. REMOVE EXISTING FLOOR FINISH IN FRONT OF NEW ENTRANCE. REMOVE EXISTING WALL BASE AS REQUIRED.

**A2** DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



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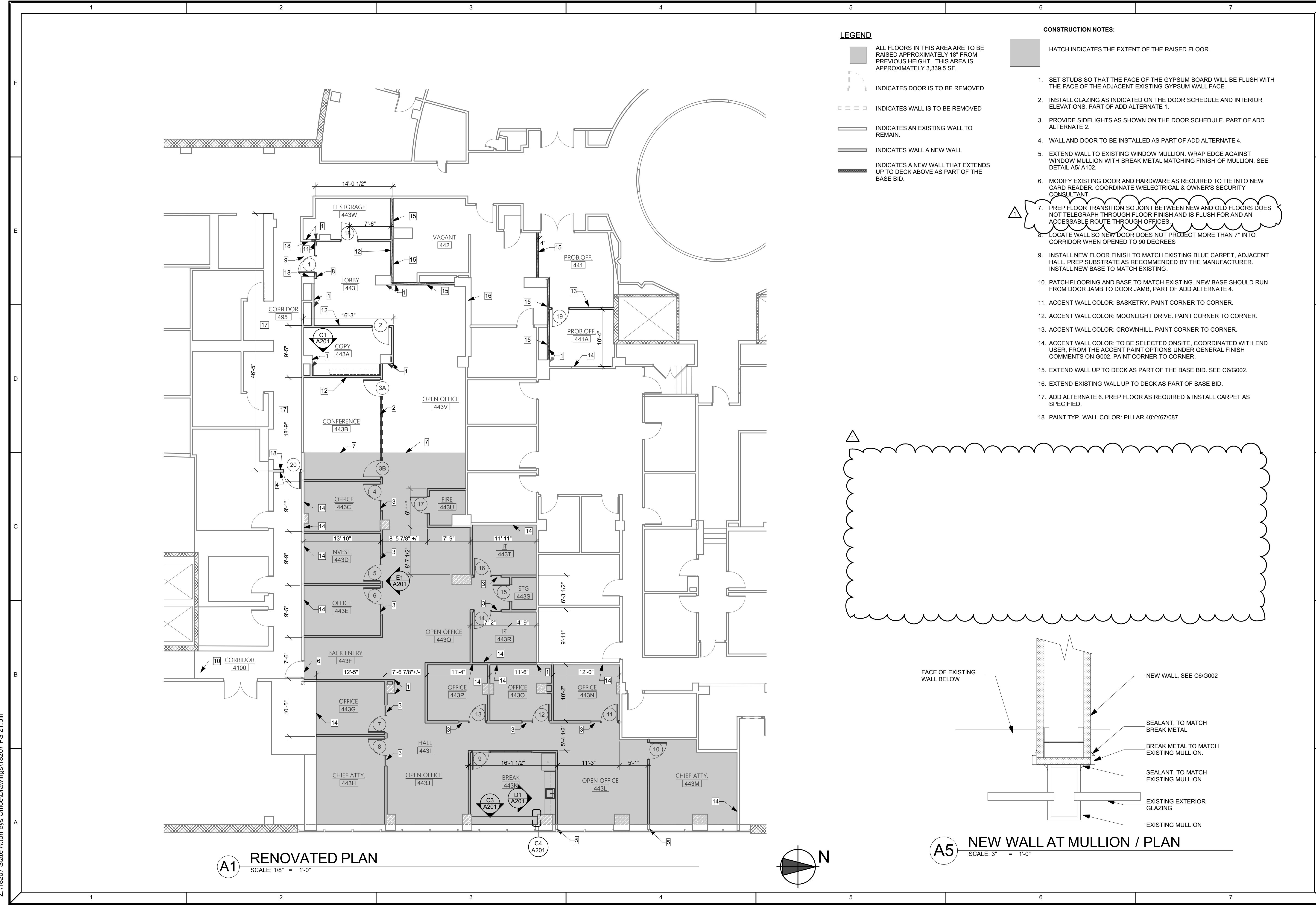
OFFICE OF THE STATE ATTORNEY,  
SECOND JUDICIAL CIRCUIT  
4th Floor Renovation,  
Suite 443  
301 S. MONROE ST.  
TALLAHASSEE, FL 32301  
PROJECT NUMBER: 19207

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DATE	REVISION TITLE

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**DEMOLITION PLAN**  
**A101**

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**A1 RENOVATED PLAN**  
SCALE: 1/8" = 1'-0"

**LEGEND**

- ALL FLOORS IN THIS AREA ARE TO BE RAISED APPROXIMATELY 18" FROM PREVIOUS HEIGHT. THIS AREA IS APPROXIMATELY 3,339.5 SF.
- INDICATES DOOR IS TO BE REMOVED
- INDICATES WALL IS TO BE REMOVED
- INDICATES AN EXISTING WALL TO REMAIN.
- INDICATES WALL A NEW WALL
- INDICATES A NEW WALL THAT EXTENDS UP TO DECK ABOVE AS PART OF THE BASE BID.

**CONSTRUCTION NOTES:**

- HATCH INDICATES THE EXTENT OF THE RAISED FLOOR.
- 1. SET STUDS SO THAT THE FACE OF THE GYPSUM BOARD WILL BE FLUSH WITH THE FACE OF THE ADJACENT EXISTING GYPSUM WALL FACE.
- 2. INSTALL GLAZING AS INDICATED ON THE DOOR SCHEDULE AND INTERIOR ELEVATIONS. PART OF ADD ALTERNATE 1.
- 3. PROVIDE SIDELIGHTS AS SHOWN ON THE DOOR SCHEDULE. PART OF ADD ALTERNATE 2.
- 4. WALL AND DOOR TO BE INSTALLED AS PART OF ADD ALTERNATE 4.
- 5. EXTEND WALL TO EXISTING WINDOW MULLION. WRAP EDGE AGAINST WINDOW MULLION WITH BREAK METAL MATCHING FINISH OF MULLION. SEE DETAIL A5/ A102.
- 6. MODIFY EXISTING DOOR AND HARDWARE AS REQUIRED TO TIE INTO NEW CARD READER. COORDINATE W/ELECTRICAL & OWNER'S SECURITY CONSULTANT.
- 7. PREP FLOOR TRANSITION SO JOINT BETWEEN NEW AND OLD FLOORS DOES NOT TELEGRAPH THROUGH FLOOR FINISH AND IS FLUSH FOR AN ACCESSIBLE ROUTE THROUGH OFFICES.
- 8. LOCATE WALL SO NEW DOOR DOES NOT PROJECT MORE THAN 7" INTO CORRIDOR WHEN OPENED TO 90 DEGREES
- 9. INSTALL NEW FLOOR FINISH TO MATCH EXISTING BLUE CARPET, ADJACENT HALL. PREP SUBSTRATE AS RECOMMENDED BY THE MANUFACTURER. INSTALL NEW BASE TO MATCH EXISTING.
- 10. PATCH FLOORING AND BASE TO MATCH EXISTING. NEW BASE SHOULD RUN FROM DOOR JAMB TO DOOR JAMB. PART OF ADD ALTERNATE 4.
- 11. ACCENT WALL COLOR: BASKETRY. PAINT CORNER TO CORNER.
- 12. ACCENT WALL COLOR: MOONLIGHT DRIVE. PAINT CORNER TO CORNER.
- 13. ACCENT WALL COLOR: CROWNHILL. PAINT CORNER TO CORNER.
- 14. ACCENT WALL COLOR: TO BE SELECTED ONSITE. COORDINATED WITH END USER, FROM THE ACCENT PAINT OPTIONS UNDER GENERAL FINISH COMMENTS ON G002. PAINT CORNER TO CORNER.
- 15. EXTEND WALL UP TO DECK AS PART OF THE BASE BID. SEE C6/G002.
- 16. EXTEND EXISTING WALL UP TO DECK AS PART OF BASE BID.
- 17. ADD ALTERNATE 6. PREP FLOOR AS REQUIRED & INSTALL CARPET AS SPECIFIED.
- 18. PAINT TYP. WALL COLOR: PILLAR 40Y67/087



**A5 NEW WALL AT MULLION / PLAN**  
SCALE: 3" = 1'-0"

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 JOEL DODSON | ARO015211 | #A2601632

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 TALLAHASSEE, FL 32301  
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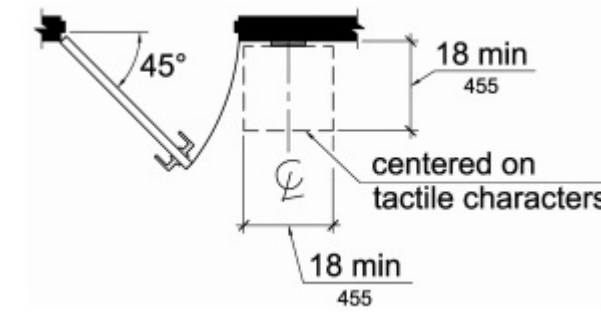
DATE	REVISION TITLE
01/25/2019	ASB1: RESPONSE TO COMMENTS

CHECKED BY:

FLOOR PLAN

DRAWN BY:

A102



**F1** ADA LOCATION OF SIGNS AT DOORS  
NOT TO SCALE



PHOTO OF TYP. ROOM NUMBER [A]

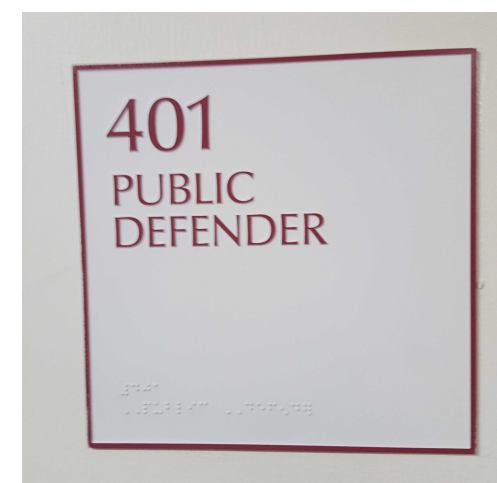


PHOTO OF TYP. SUITE SIGN [B]



PHOTO OF TYP. DIRECTIONAL SIGNAGE [C]

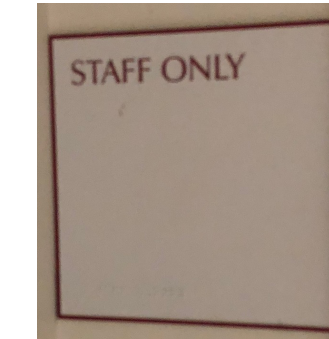
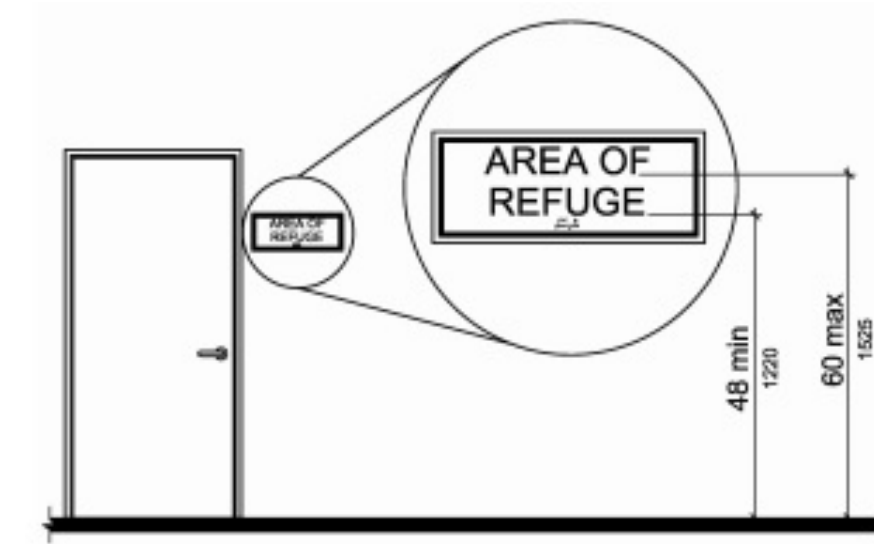
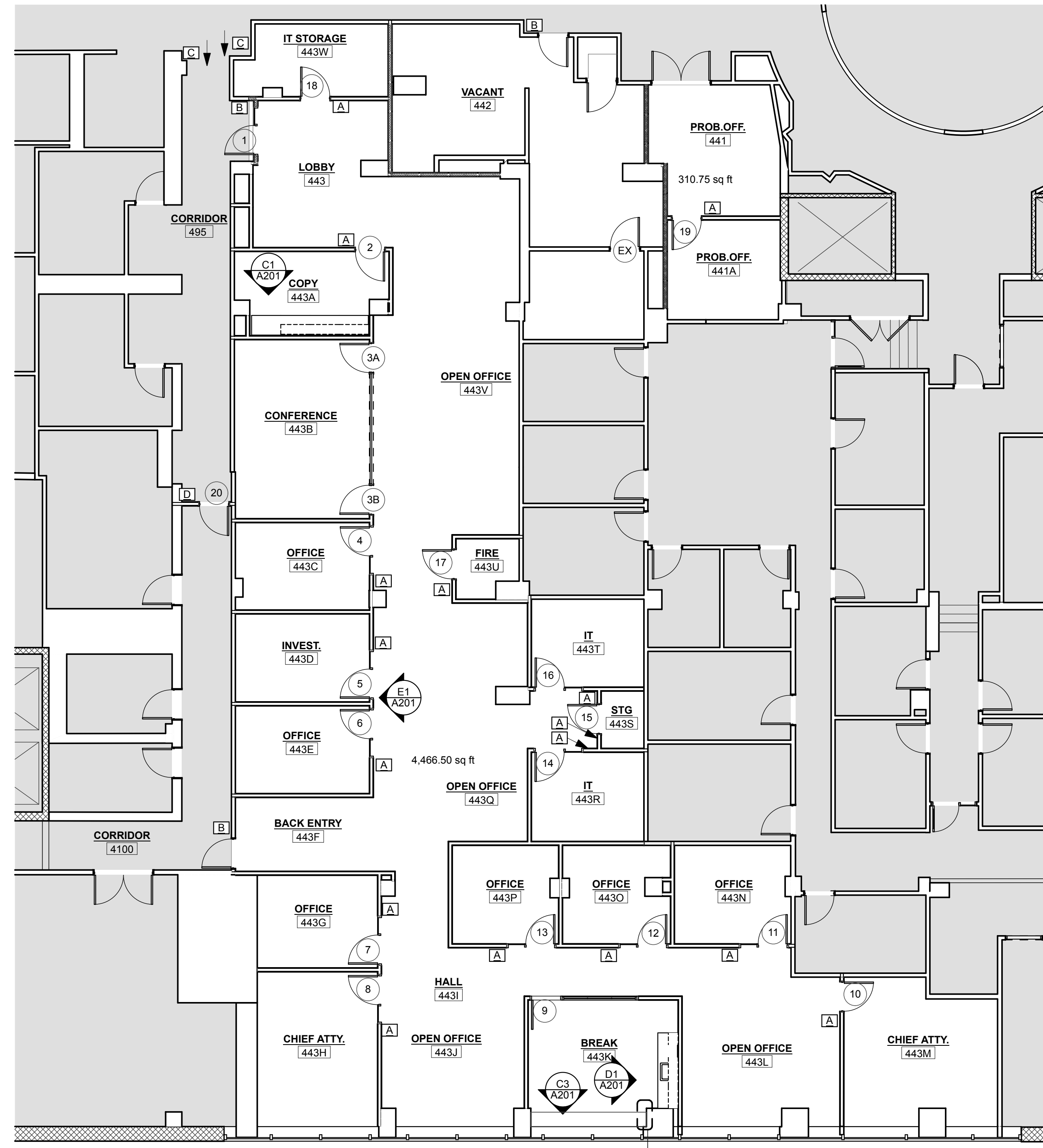


PHOTO OF TYP. SPECIAL TEXT SIGNAGE [D]

**F2** PHOTOS OF EXISTING SIGNAGE  
SCALE: 1:16.49



**E6** ADA HEIGHT OF TACTILE CHARACTERS  
NOT TO SCALE



**A2** SIGNAGE PLAN  
SCALE: 1/8" = 1'-0"

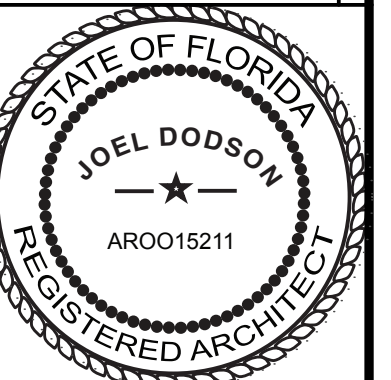
ROOM #	ROOM NAME	ROOM # PLATE	ROOM # AND ROOM NAME/SPECIAL TEXT PLATE
441	PROB.OFF.		EXISTING TO REMAIN
441A	PROB.OFF.	A	
442	VACANT	B	SUITE 442
443	LOBBY	B	SUITE 443 STATE ATTORNEY'S OFFICE, COUNTY COURT & JUVENILE DIVISION
443A	COPY	A	
443B	CONFERENCE		
443C	OFFICE	A	
443D	INVEST.	A	
443E	OFFICE	A	
443F	BACK ENTRY	B	SUITE 443 STATE ATTORNEY'S OFFICE, COUNTY COURT & JUVENILE DIVISION
443G	OFFICE	A	
443H	CHIEF ATTY.	A	
443I	HALL		
443J	OPEN OFFICE	A	
443K	BREAK		
443L	OPEN OFFICE	A	
443M	CHIEF ATTY.	A	
443N	OFFICE	A	
443O	OFFICE	A	
443P	OFFICE	A	
443Q	OPEN OFFICE		
443R	IT	A	
443S	STG	A	
443T	IT	A	
443U	FIRE	A	
443V	OPEN OFFICE		
443W	IT STORAGE	A	
495	CORRIDOR	B, C, D	[B] SUITE 443 STATE ATTORNEY'S OFFICE, COUNTY COURT & JUVENILE DIVISION [C] STATE ATTORNEY'S OFFICE, COUNTY COURT & JUVENILE DIVISION [D] STAFF ONLY
4100	CORRIDOR	B	SUITE 443 COUNTY COURT AND JUVENILE DIVISION

ALL NEW SIGNAGE IS TO MATCH EXISTING SIGNS IN MATERIAL, COLOR, STYLE, FONT, DIMENSIONS, AND MOUNTING HEIGHT. SUBMIT DETAILS OF EACH SIGN TYPE FOR REVIEW AND APPROVAL.

- [A] NEW ROOM NUMBER PLATE
- [B] NEW SUITE NUMBER AND SUITE NAME/SPECIAL TEXT PLATE
- [C] NEW DIRECTIONAL SIGNAGE/SPECIAL TEXT PLATE
- [D] SPECIAL TEXT PLATE

NOTE:  
1. ROOMS WHERE ALL THREE CELLS CONTAIN "-" DO NOT REQUIRE ANY SIGNAGE.  
2. EXISTING SIGNS WERE MANUFACTURED BY FULL MOON GRAPHICS.  
3. ALL SIGNAGE MUST BE ADA COMPLIANT WITH BRAILLE AND INSTALLED SO TACTILE LETTERS ARE 48" AFF.

**B6** SIGNAGE SCHEDULE  
SCALE: 1' = 1'-0"



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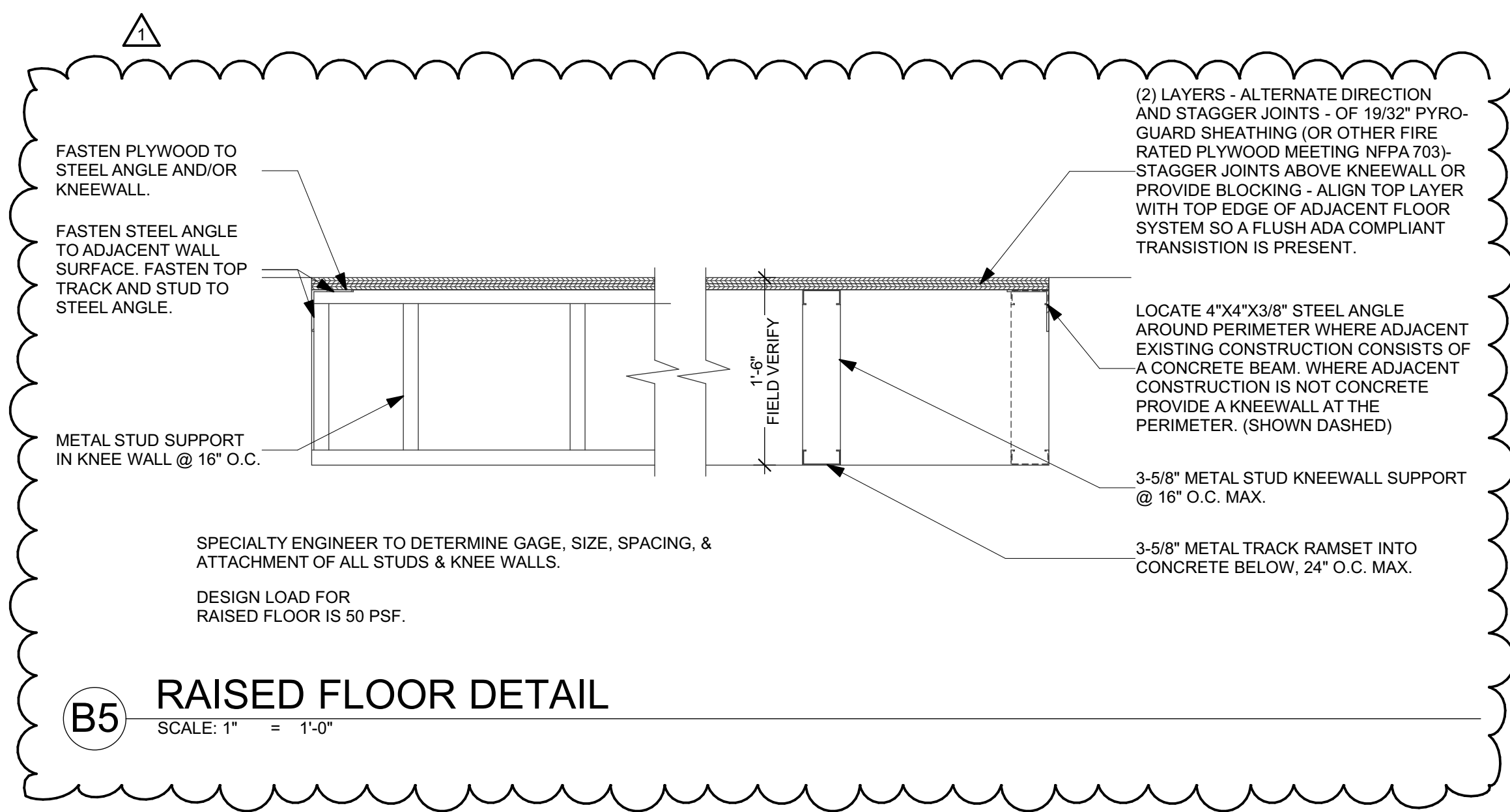
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10/26/2018	100% CONSTRUCTION DOCUMENTS
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Z:\18207 State Attorneys Office\Drawings\18207\_PS 21.pln



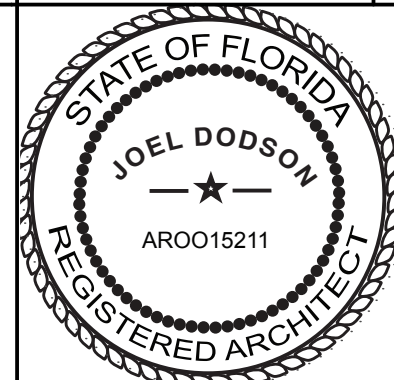
**A1 RAISED FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



**B5 RAISED FLOOR DETAIL**  
SCALE: 1" = 1'-0"

**LEGEND**  
 ——— INDICATES EXISTING WALL.  
 - - - - - INDICATES LOCATION OF NEW INTERIOR WALLS IN THE WORK AREA.

<p><b>DODSTONE ARCHITECTS</b></p> <p>3011 Powell Road   Tallahassee, FL 32308 850.666.7326   #A26001632</p> <p>JOEL DODSON   ARO015211   #A26001632</p>	<p>STATE OF FLORIDA</p> <p>JOEL DODSON</p> <p>REGISTERED ARCHITECT</p> <p>ARO015211</p>	<p>OFFICE OF THE STATE ATTORNEY, SECOND JUDICIAL CIRCUIT</p> <p><b>4th Floor Renovation,</b> Suite 443 301 S. MONROE ST. TALLAHASSEE, FL 32301</p> <p>PROJECT NUMBER: 19207</p>	<p>AS INSTRUMENTS OF SERVICE, THESE DRAWINGS ARE THE PROPERTY OF THE DODSTONE GROUP ARCHITECTS AND AS SUCH ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DODSTONE GROUP ARCHITECTS. ANY REPRODUCTION OR USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE DODSTONE GROUP ARCHITECTS IS PROHIBITED.</p>
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<p>DRAWN BY:</p>	<p>DATE</p>	<p>REVISION TITLE</p> <p>01/25/2019 ASB1: RESPONSE TO COMMENTS</p>	<p>DATE</p>
<p><b>FLOOR FRAMING</b></p>	<p><b>A104</b></p>		

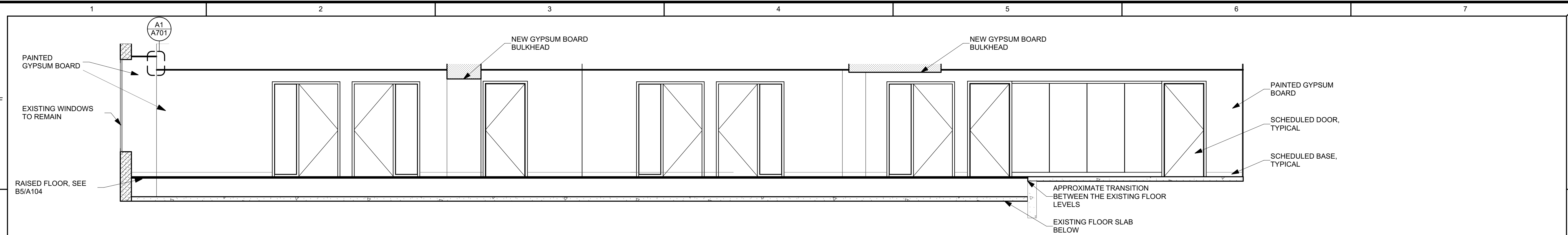


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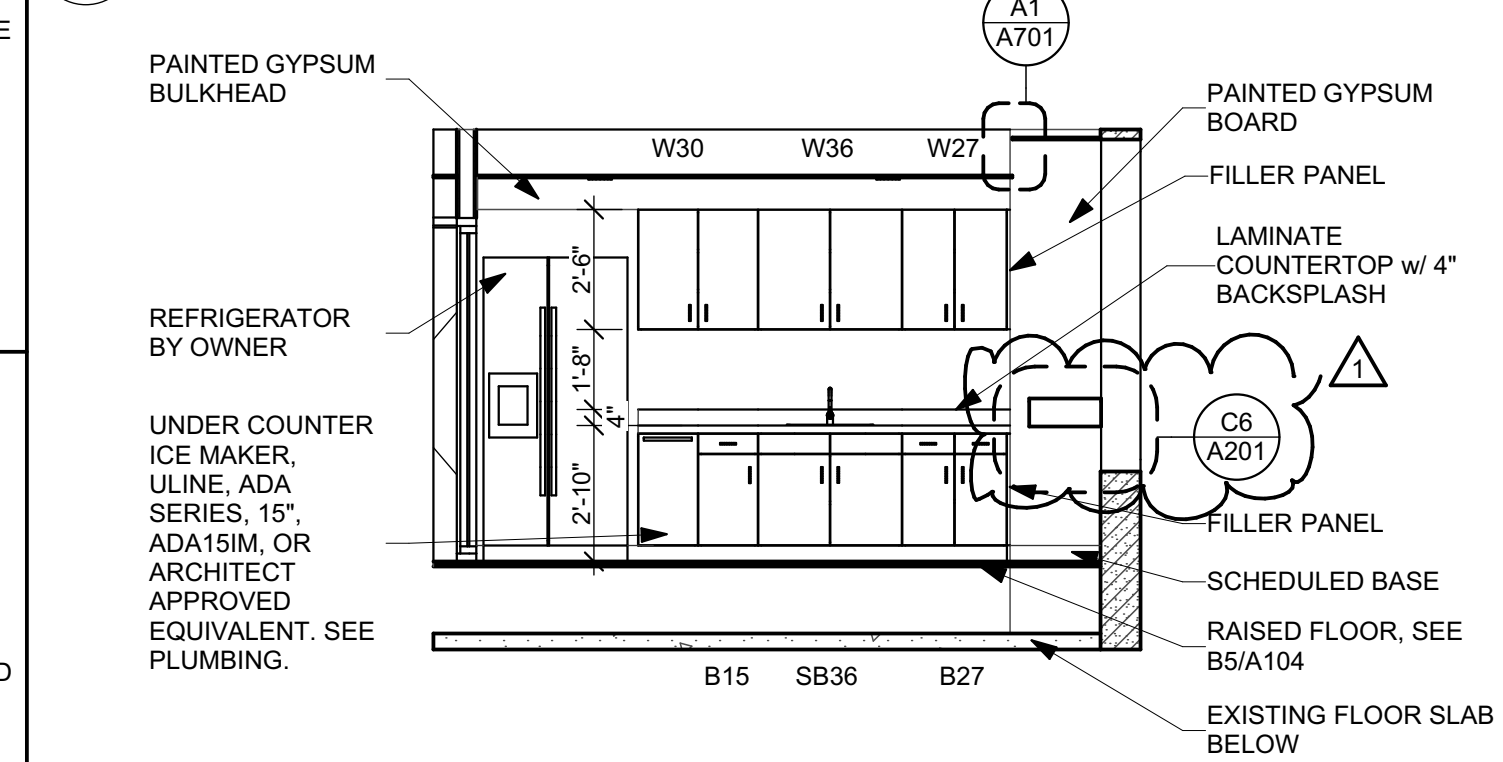
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**INTERIOR ELEVATIONS**  
**A201**

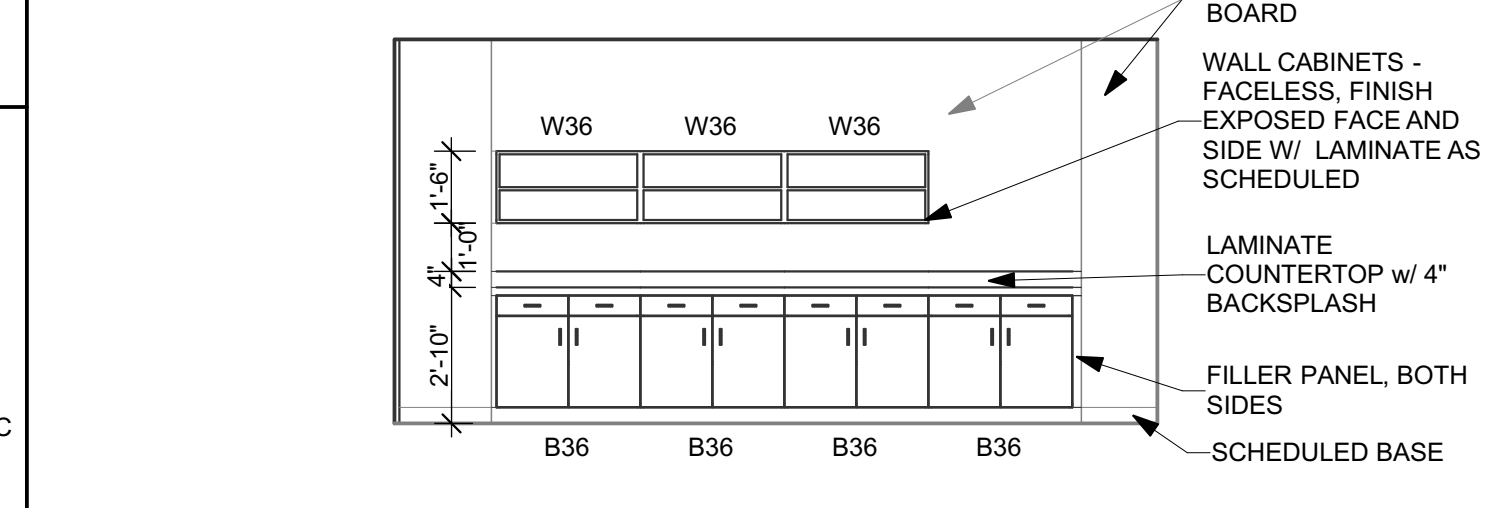


**E1 INTERIOR ELEVATION - SOUTH**  
SCALE: 1/4" = 1'-0"

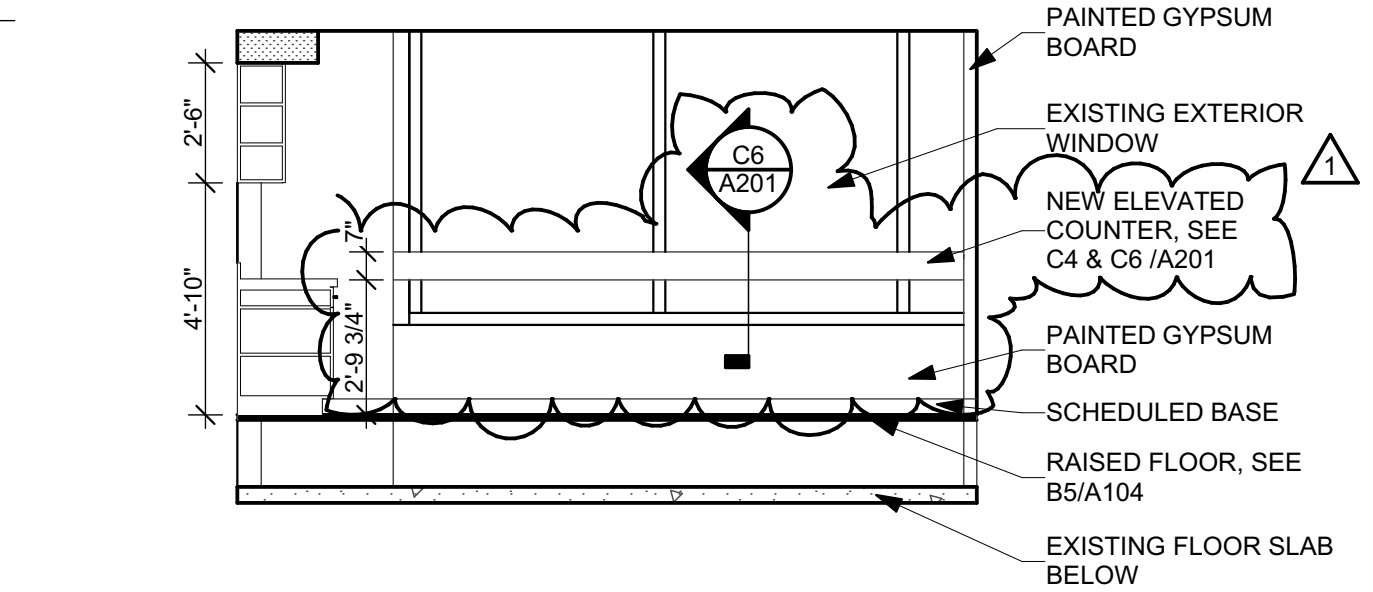


**D1 BREAK ROOM - NORTH**  
SCALE: 1/4" = 1'-0"

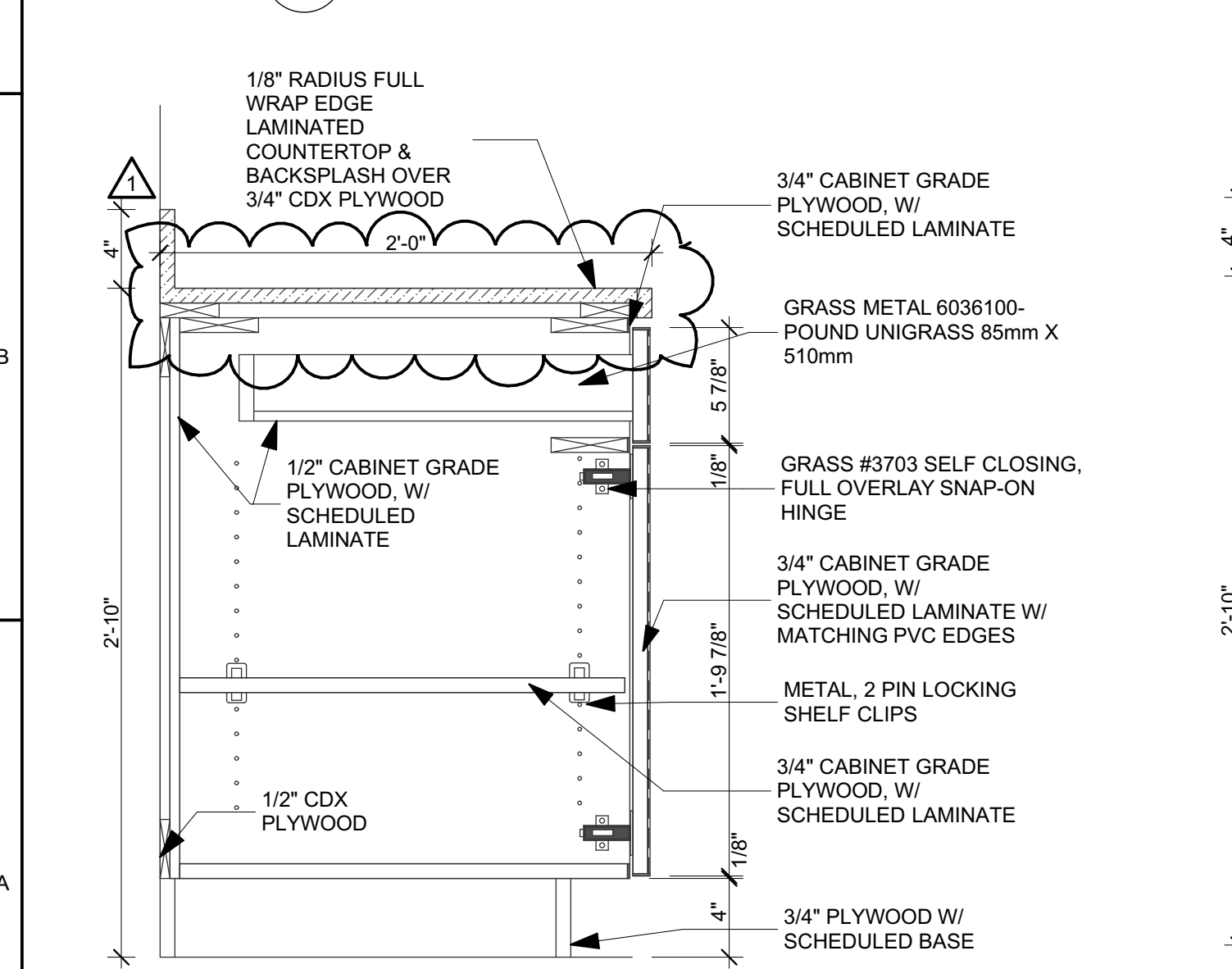
W = WALL CABINET  
SEE A4 & A6/A201.  
B = BASE CABINET  
SEE A1/A201.  
SB = SINK BASE CABINET  
SEE A2/A201.  
# AFTER LETTER INDICATES  
WIDTH OF CABINET.  
**CABINERY LEGEND**



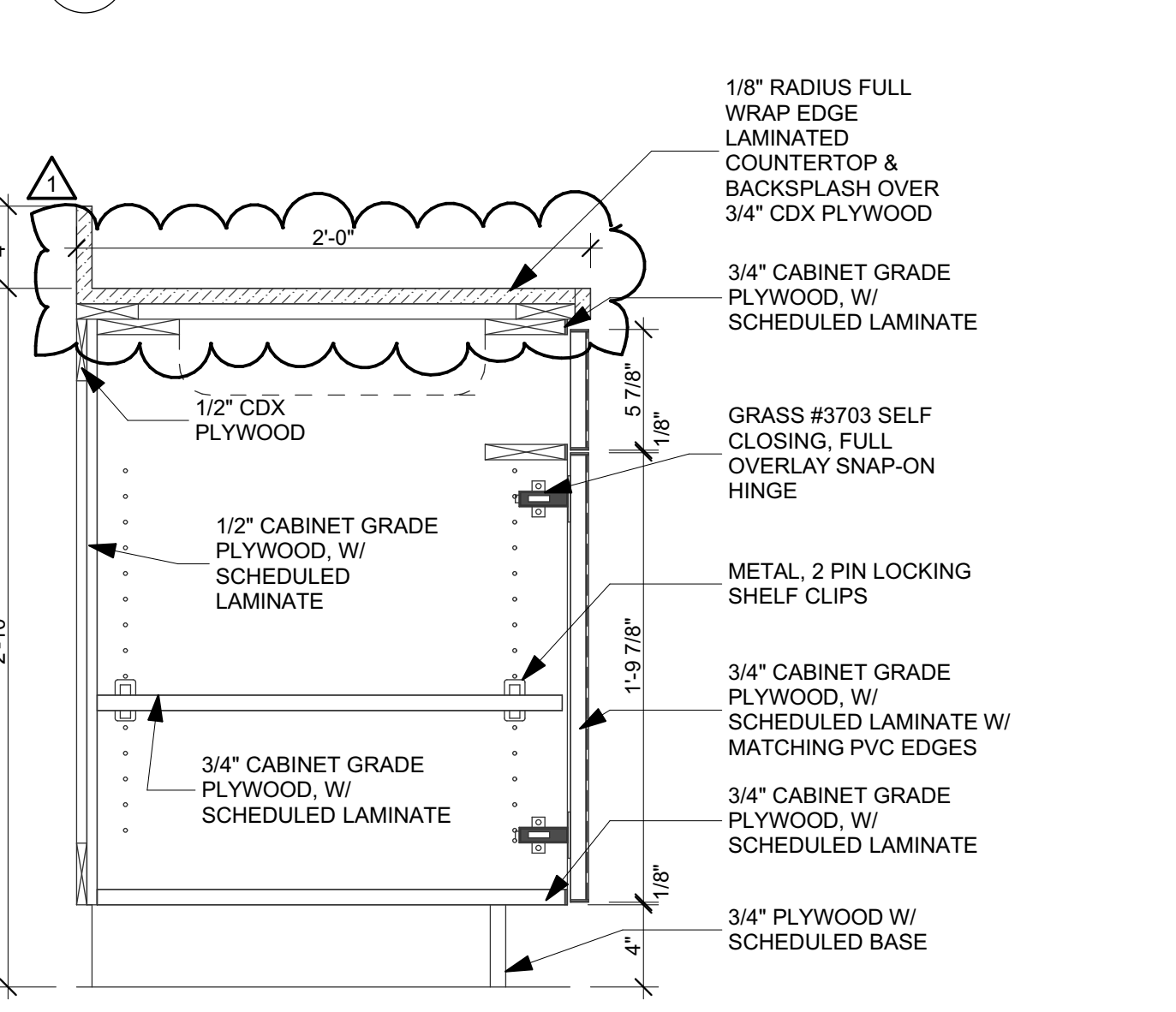
**C1 COPY ROOM - EAST**  
SCALE: 1/4" = 1'-0"



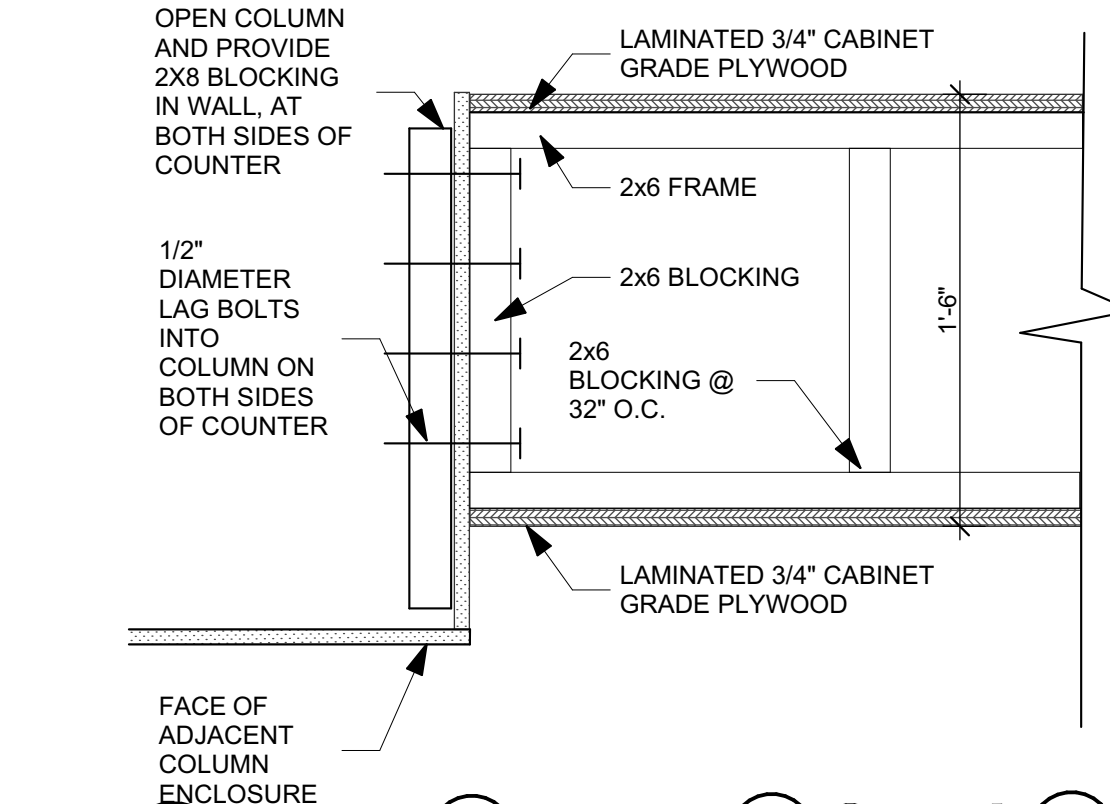
**C3 BREAK ROOM - EAST**  
SCALE: 1/4" = 1'-0"



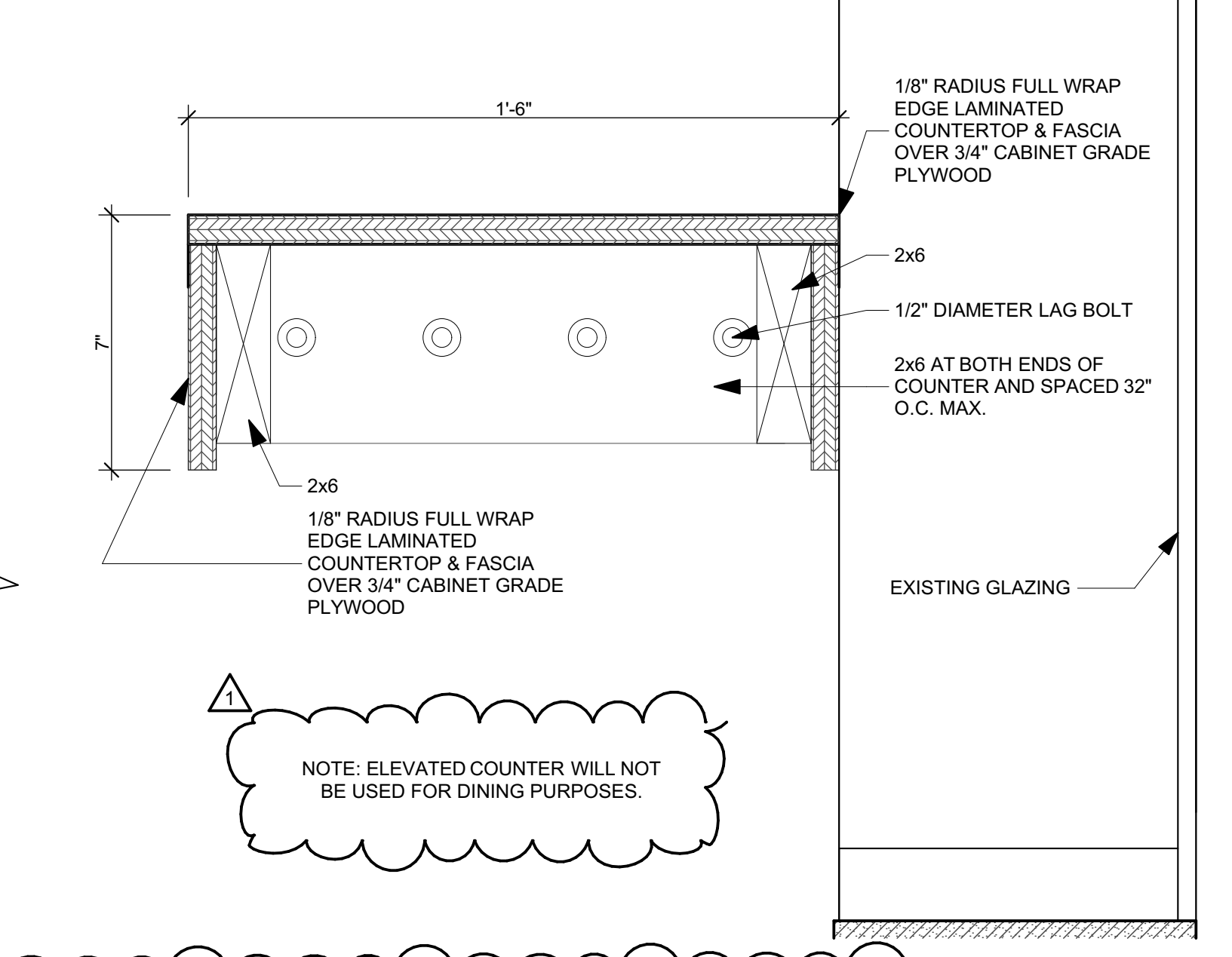
**A1 BASE CABINET W/DRAWER**  
SCALE: 1 1/2" = 1'-0"



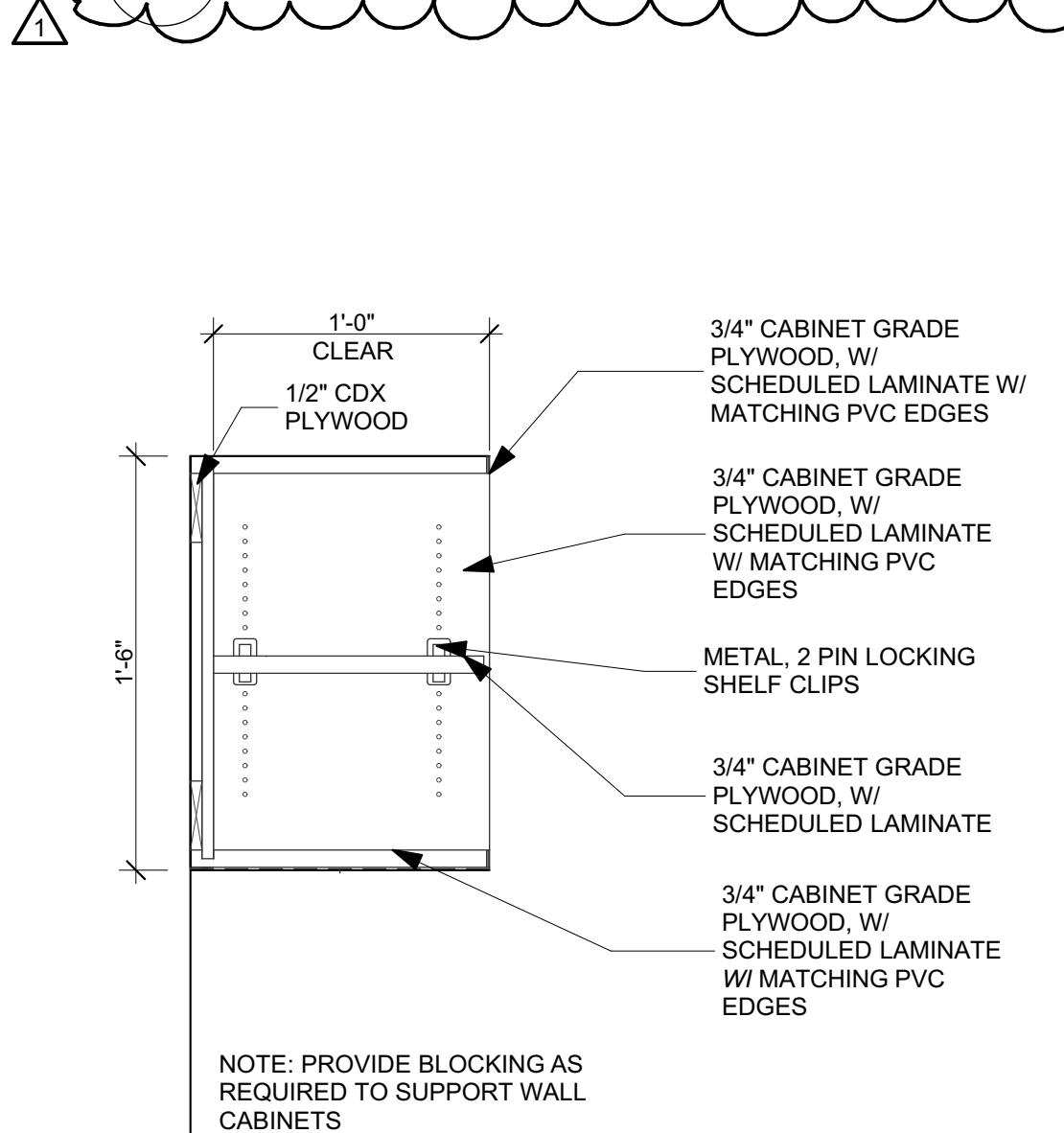
**A2 SINK BASE**  
SCALE: 1 1/2" = 1'-0"



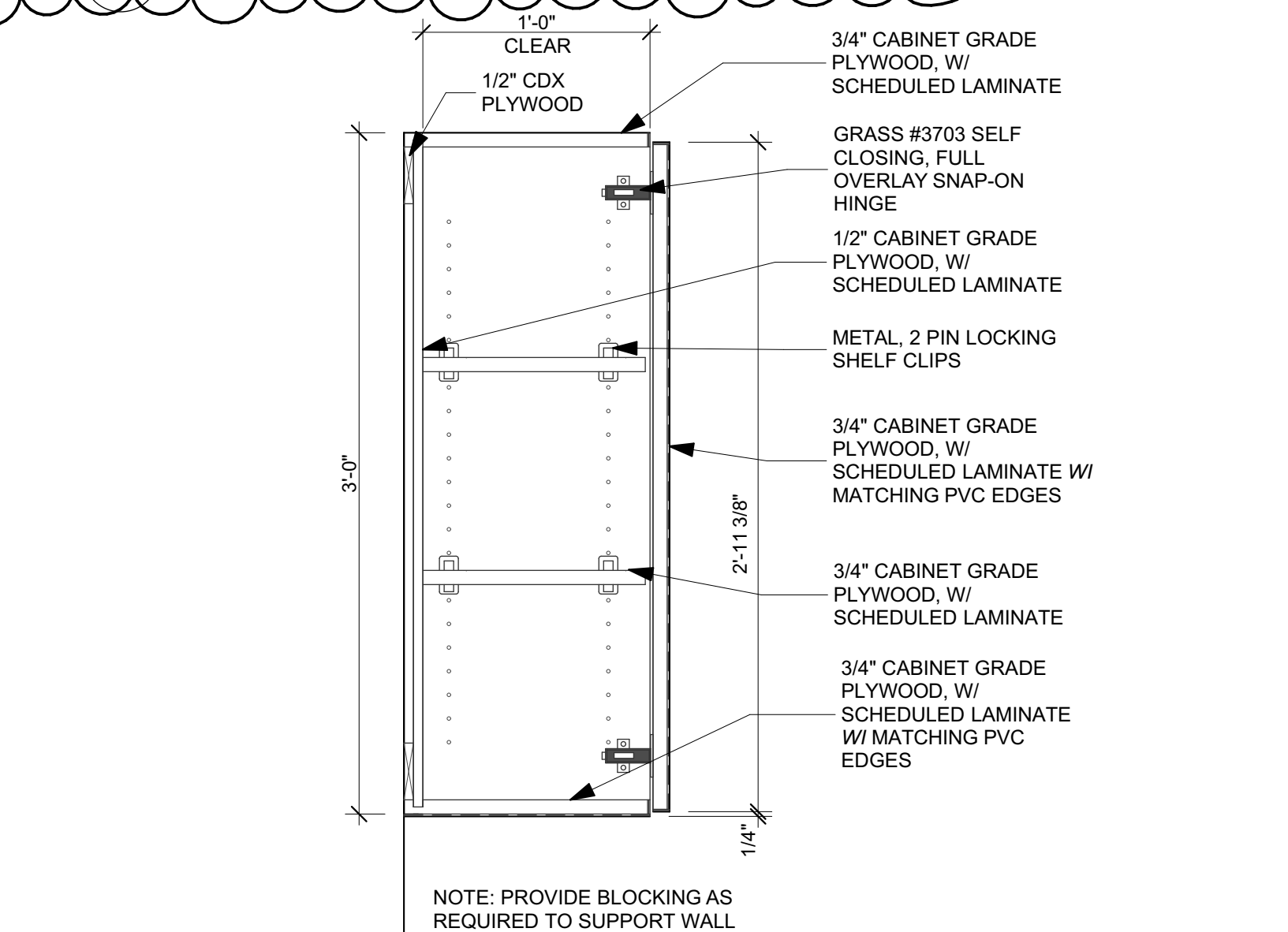
**C4 ELEVATED COUNTER / PLAN**  
SCALE: 1 1/2" = 1'-0"



**C6 ELEVATED COUNTER DETAIL**  
SCALE: 3" = 1'-0"

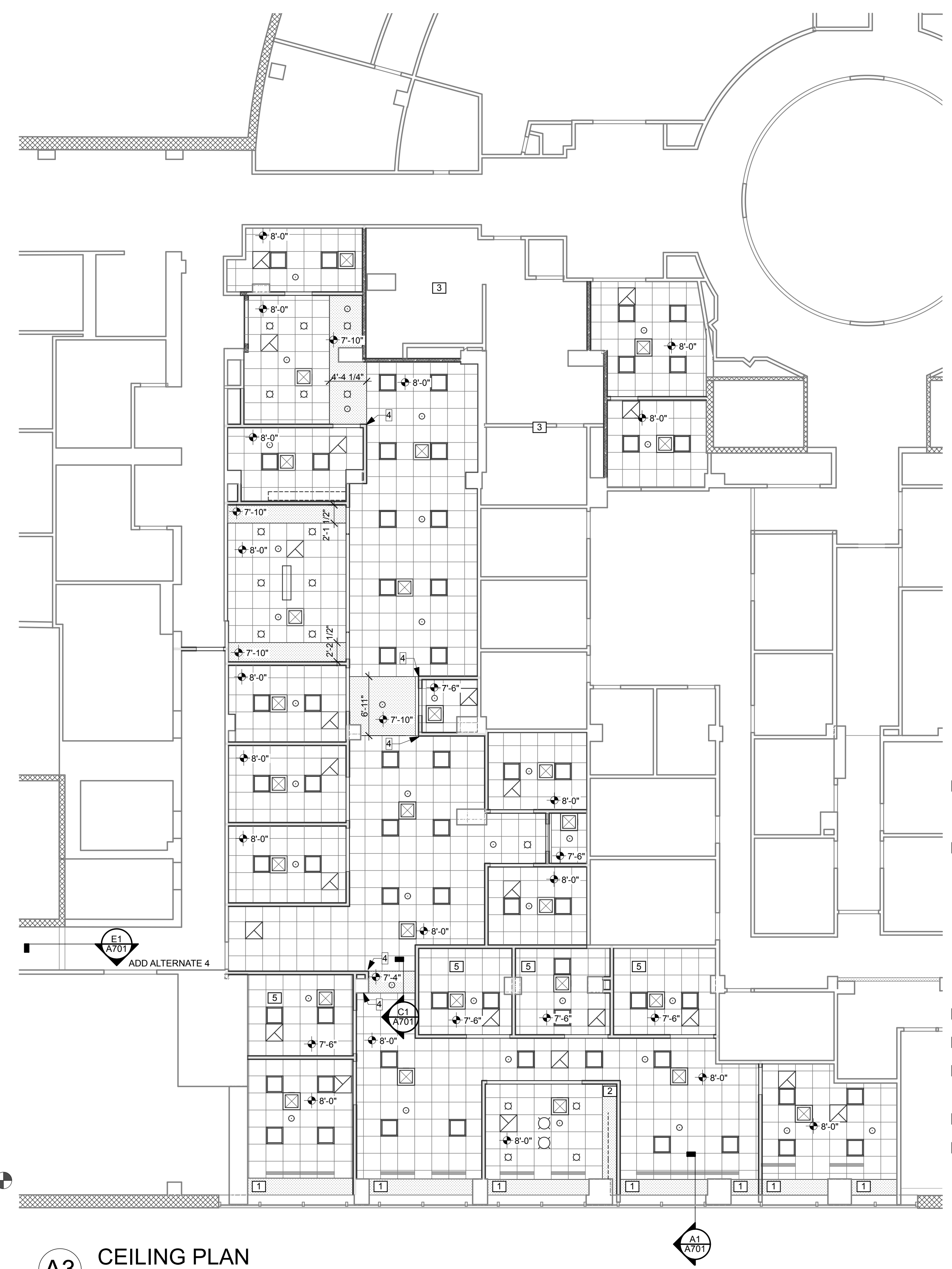
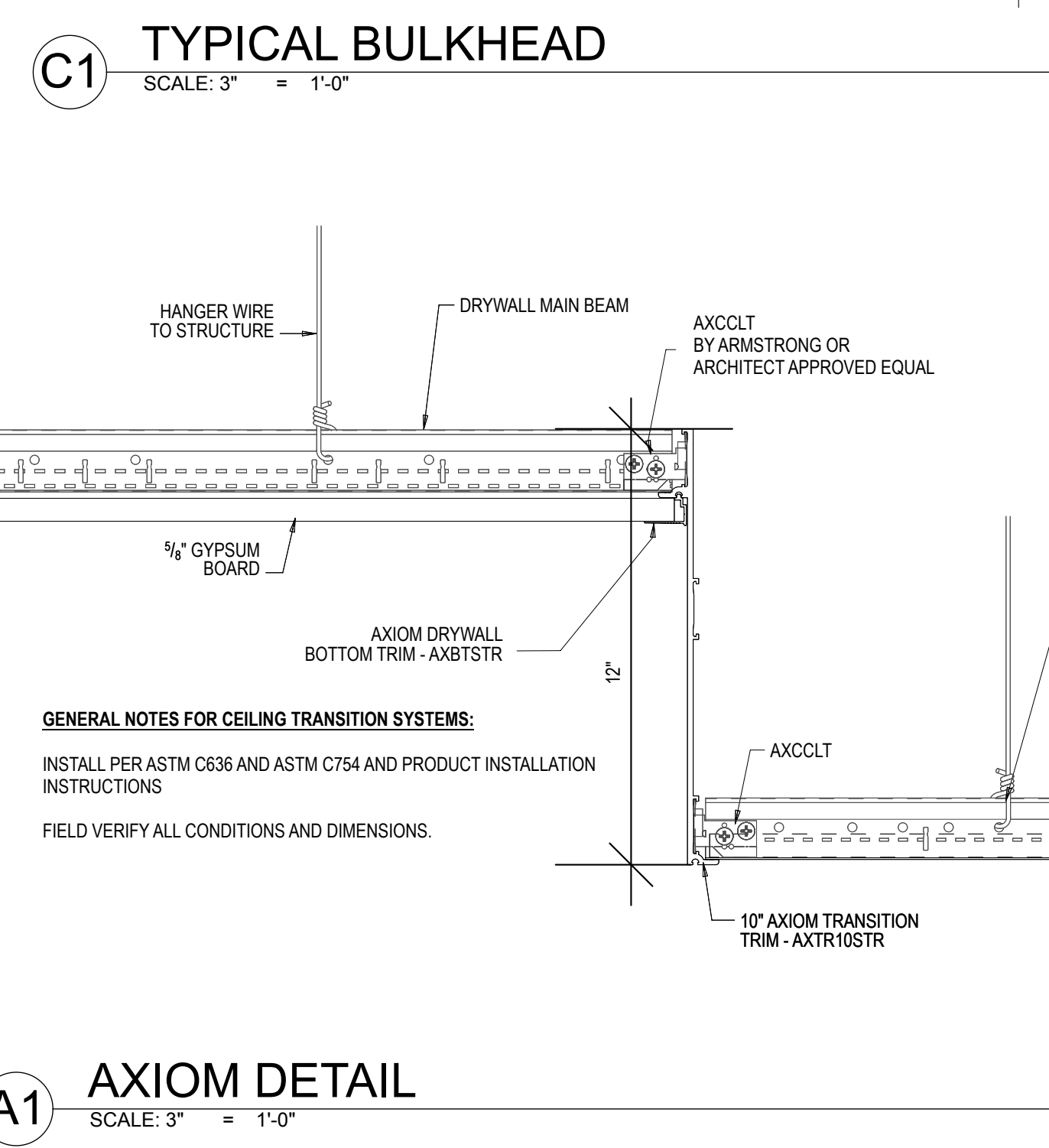
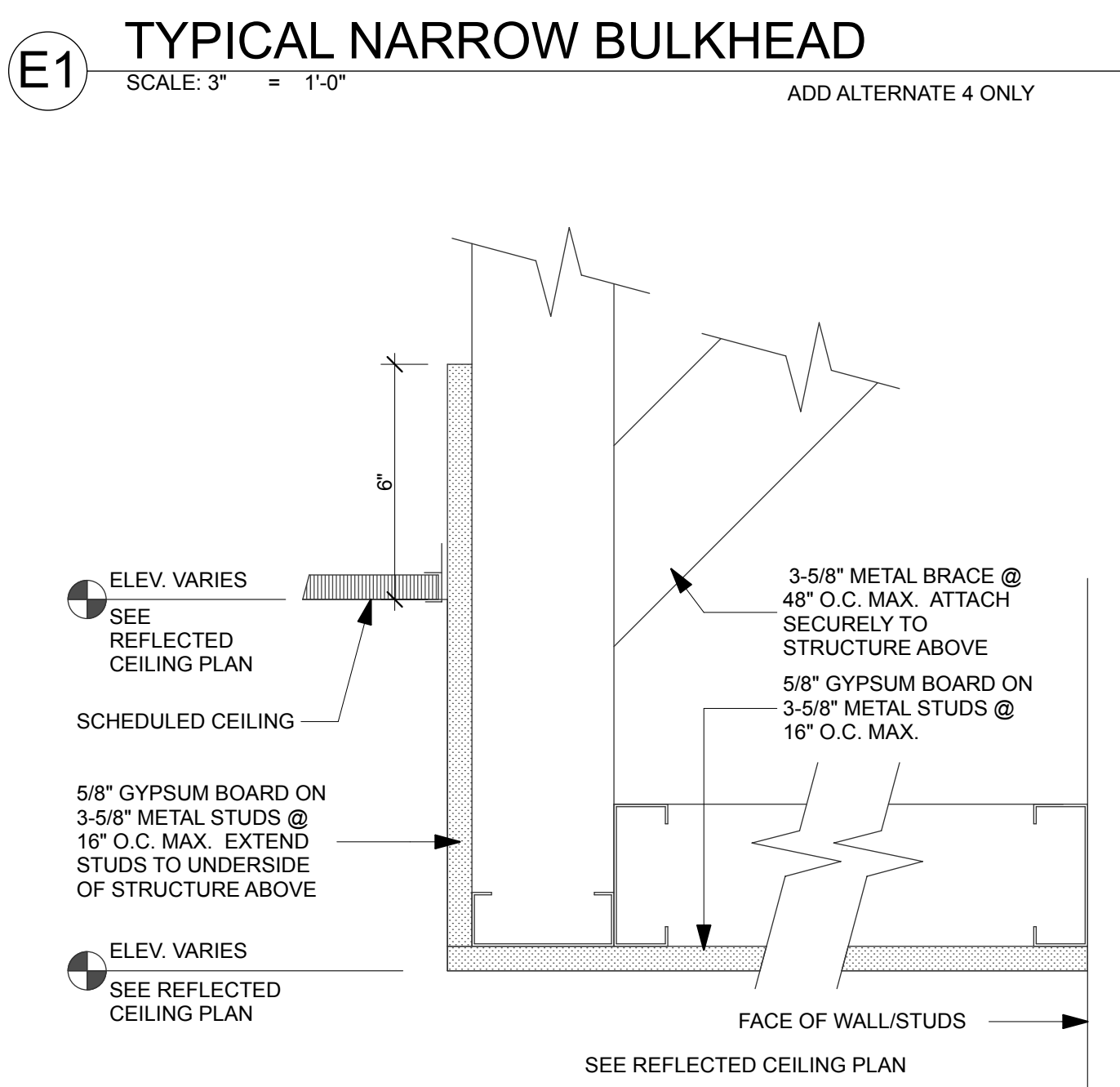
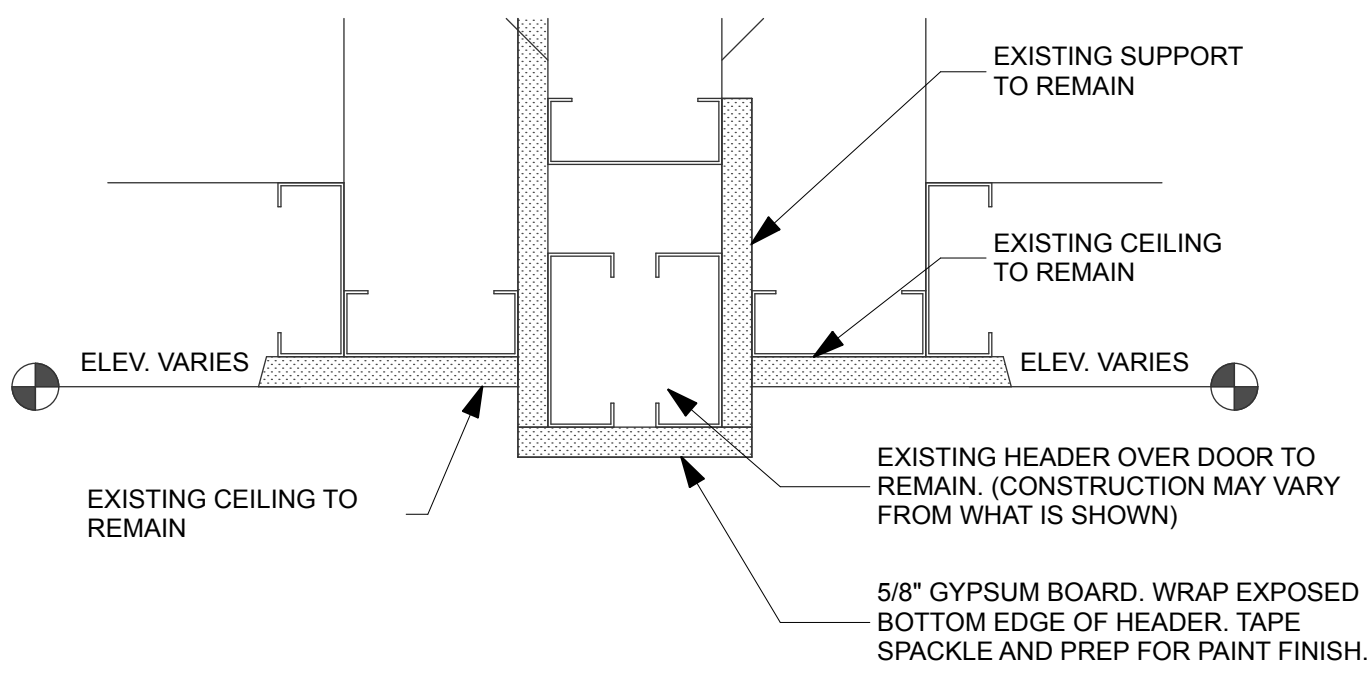


**A4 WALL CABINETS FACELESS**  
SCALE: 1 1/2" = 1'-0"



**A6 WALL CABINETS**  
SCALE: 1 1/2" = 1'-0"

Volumes/DodStone/18207 State Attorneys Office/18207\_100\_CDs\_21.pln



- D7 CEILING LEGEND**  
SCALE: 1/8" = 1'-0"
- NEW ACOUSTICAL CEILING TILE. SEE FINISH SCHEDULE
  - NEW GYPSUM CEILING / BULKHEAD. SEE FINISH SCHEDULE
  - 8'-0" INDICATES HEIGHT OF THE CEILING ABOVE THE HIGHER FLOOR LEVEL
  - SEE ELECTRICAL FOR LIGHT FIXTURE SCHEDULE, EXIT SIGNS, & EMERGENCY LIGHT LOCATIONS.
  - RECESSED LED CAN LIGHT
  - ACCENT LIGHT
  - ACCENT PENDANT LIGHT
  - 2x2 LED LIGHT FIXTURE
  - SEE ELECTRICAL FOR MECHANICAL PLANS FOR ADDITIONAL INFORMATION REGARDING ALL DIFFUSERS
  - RETURN AIR DIFFUSER
  - SUPPLY AIR DIFFUSER
  - SPRINKLER HEAD, SEE FIRE PROTECTION PLANS
  - SLOT DIFFUSER, SEE MECHANICAL PLANS

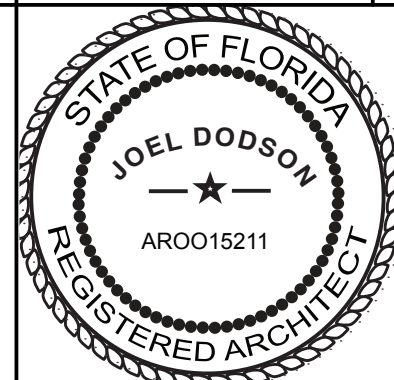
**GENERAL CEILING NOTES**

G1 INSTALL CEILINGS IN OFFICES AND OPEN OFFICE AREAS AS HIGH AS EXISTING OVERHEAD CONDITIONS ALLOW. NOTIFY ARCHITECT IF EXISTING ABOVE CEILING CONDITIONS CONFLICT WITH THE LISTED CEILING HEIGHT.

G2 ALL EXISTING CEILINGS IN THE WORK AREA ARE TO BE REMOVED AND REPLACED WITH NEW CEILINGS. SEE FINISH SCHEDULE.

- ADDITIONAL CEILING NOTES**
- 1 INSTALL GYPSUM BOARD BULKHEAD ABOVE EXISTING WINDOW HEAD, SEE DETAIL A1/A701.
  - 2 SET BOTTOM OF BULKHEAD EVEN w/ TOP OF THE OVERHEAD CABINETS.
  - 3 AREA TO REMAIN VACANT. NO CEILING TO BE INSTALLED IN THIS AREA. SEE MECHANICAL, ELECTRICAL, AND FIRE SAFETY PLAN.
  - 4 ALIGN FACE OF BULKHEAD WITH FACE OF WALL.
  - 5 IF ABOVE CEILING CONDITIONS PERMIT, SET CEILING HEIGHT @ 8'-0"

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CHECKED BY: **REFLECTED CEILING**  
A701

### MEP ENGINEERS

**H2 ENGINEERING, INC.**  
114 EAST FIFTH AVENUE  
TALLAHASSEE, FL 32303  
PH. 850.224.7922  
www.H2engineering.com

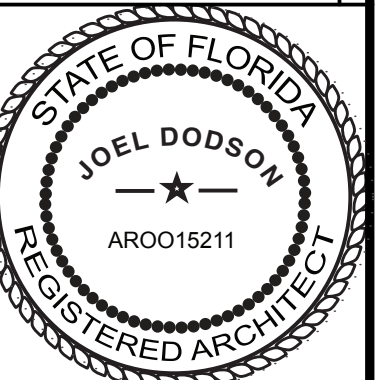
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### ARCHITECT

**DODSTONE ARCHITECTS, INC.**  
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TALLAHASSEE, FL 32308  
PH. 850.656.7326  
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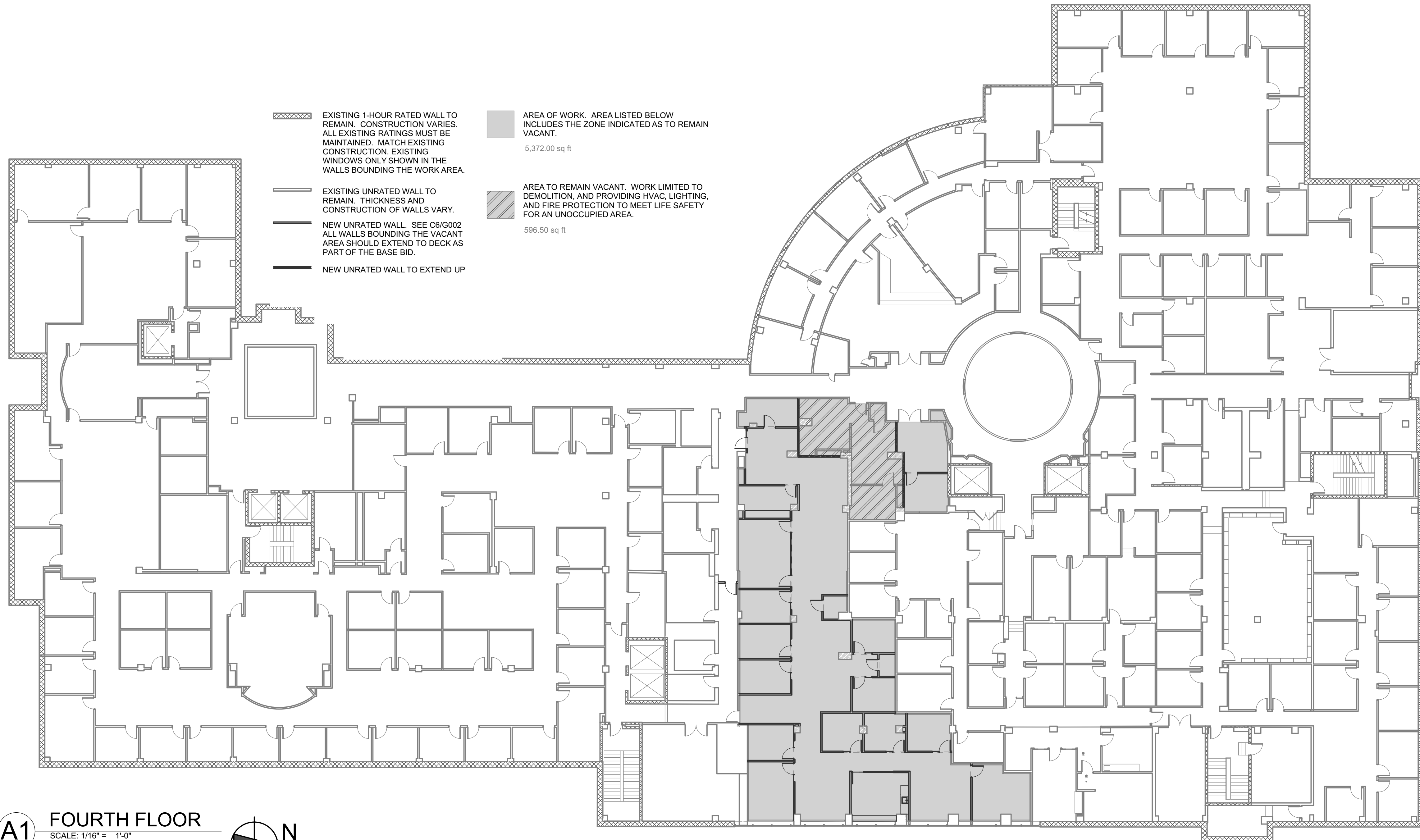
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CHECKED BY: **COVER SHEET**  
DRAWN BY: **G001**

- EXISTING 1-HOUR RATED WALL TO REMAIN. CONSTRUCTION VARIES. ALL EXISTING RATINGS MUST BE MAINTAINED. MATCH EXISTING CONSTRUCTION. EXISTING WINDOWS ONLY SHOWN IN THE WALLS BOUNDING THE WORK AREA.
- EXISTING UNRATED WALL TO REMAIN. THICKNESS AND CONSTRUCTION OF WALLS VARY.
- NEW UNRATED WALL. SEE C6/G002 ALL WALLS BOUNDING THE VACANT AREA SHOULD EXTEND TO DECK AS PART OF THE BASE BID.
- NEW UNRATED WALL TO EXTEND UP
- AREA OF WORK. AREA LISTED BELOW INCLUDES THE ZONE INDICATED AS TO REMAIN VACANT.  
5,372.00 sq ft
- AREA TO REMAIN VACANT. WORK LIMITED TO DEMOLITION, AND PROVIDING HVAC, LIGHTING, AND FIRE PROTECTION TO MEET LIFE SAFETY FOR AN UNOCCUPIED AREA.  
596.50 sq ft



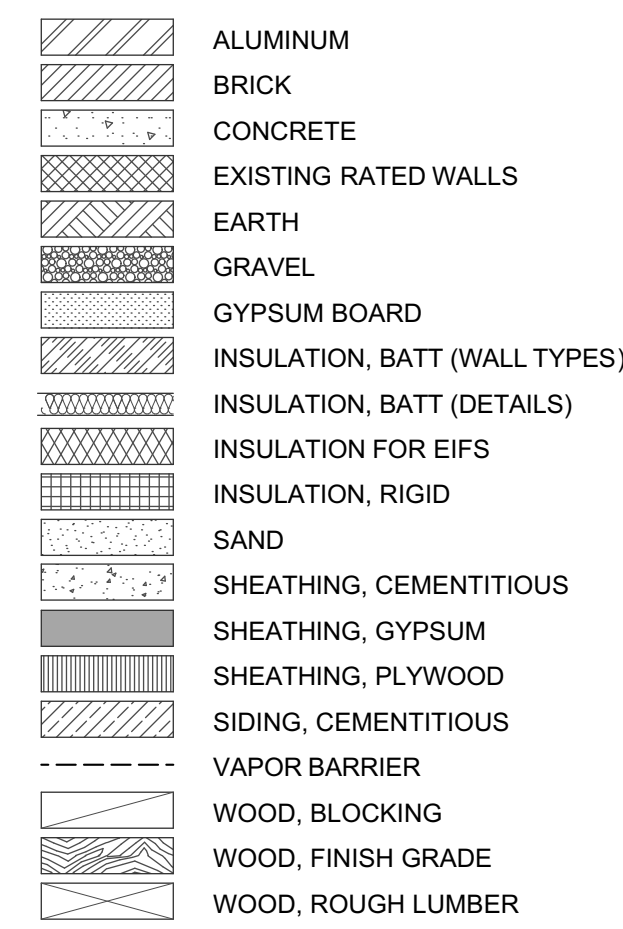
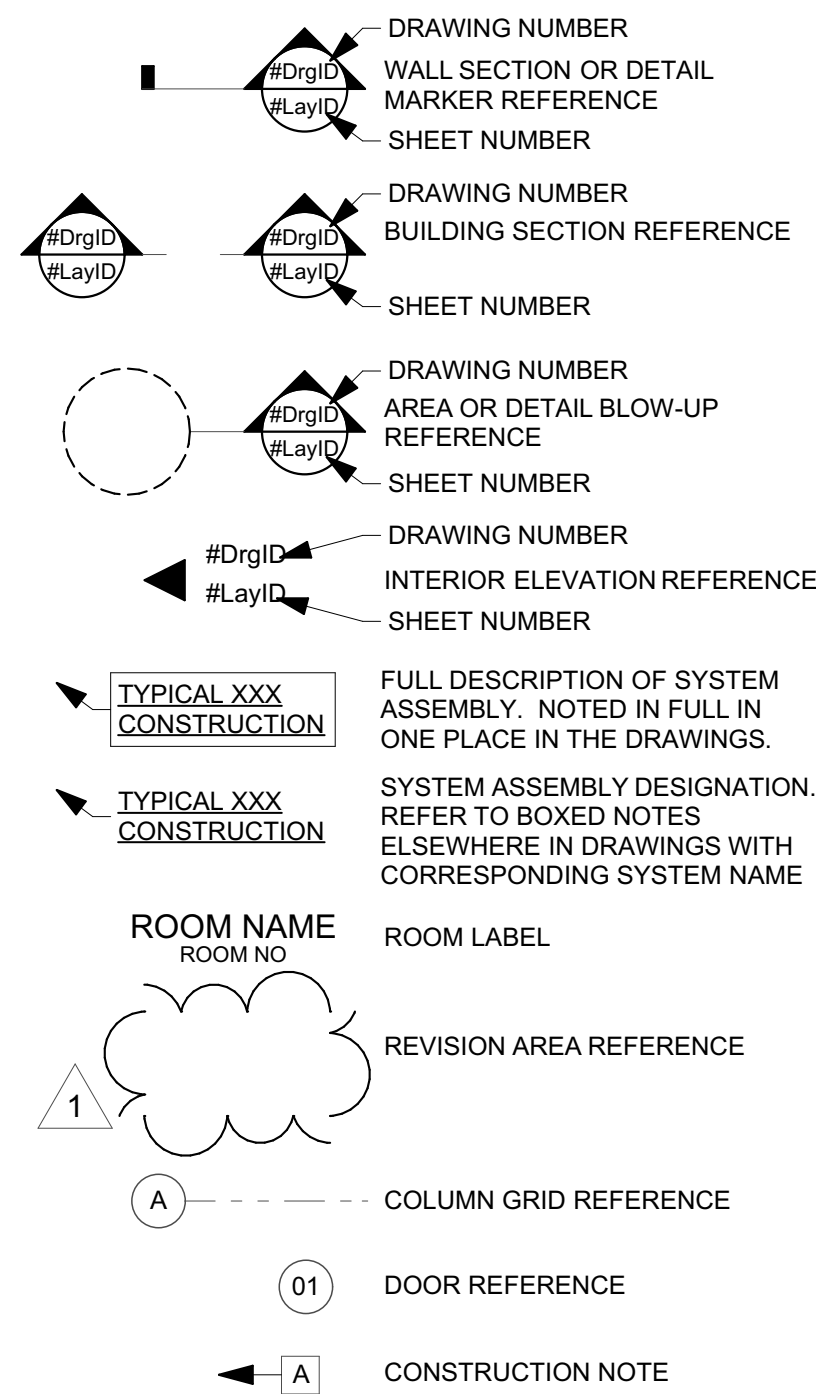
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G002	LEGENDS
LS001	LIFE SAFETY PLAN
A100	SCHEDULES
A101	DEMOLITION PLAN
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E002	SPECIFICATIONS
E101	PARTIAL FOURTH FLOOR PLAN - LIGHTING DEMOLITION
E102	PARTIAL FOURTH FLOOR PLAN - LIGHTING RENOVATION
E201	PARTIAL FOURTH FLOOR PLAN - POWER DEMOLITION
E202	PARTIAL FOURTH FLOOR PLAN - POWER RENOVATION

**A1** FOURTH FLOOR  
SCALE: 1/16" = 1'-0"

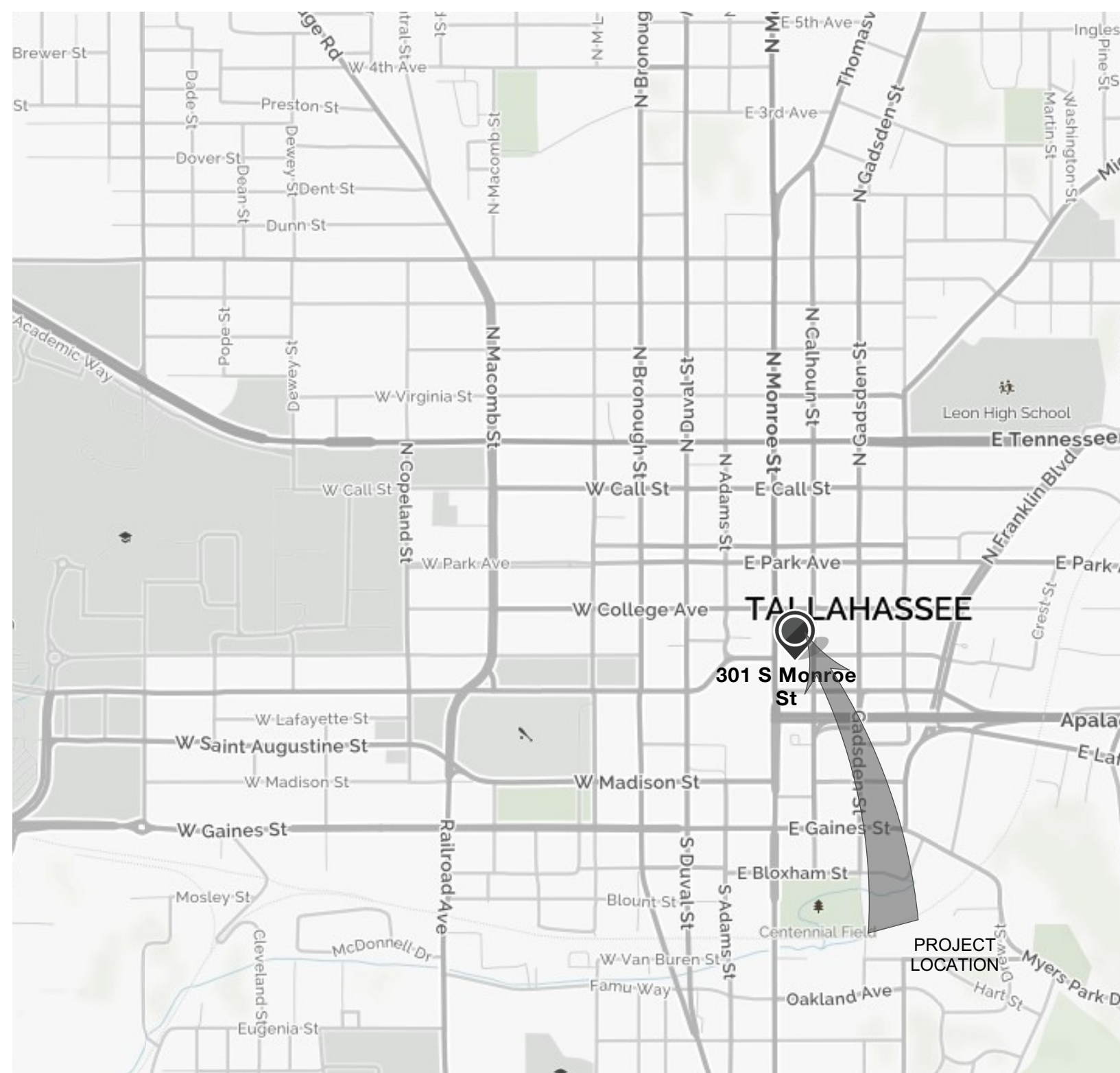
**PERMIT SET**





### REFERENCE LEGEND

SCALE: NONE



### PROJECT VACINITY MAP

**ADD ALTERNATE 1:**  
BASE BID: USE TWO TYPE HM2 DOOR FRAMES LEADING INTO THE CONFERENCE ROOMS.  
ALTERNATE: INSTALL BOTH DOORS INTO A SINGLE DOOR FRAME AS SCHEDULED, WITH BUTT-GLAZED GLASS PANELS IN BETWEEN.

**ADD ALTERNATE 2:**  
BASE BID: USE DOOR FRAME TYPE HM2 WITHOUT THE SIDELIGHT AT ALL OFFICE DOORS.  
ALTERNATE: PROVIDE A SIDELIGHT AS SCHEDULED AT ALL OFFICE DOORS.

**ADD ALTERNATE 3:**  
BASE BID: NEW, INTERIOR NON-RATED WALLS WILL EXTEND 6" ABOVE CEILING.  
ALTERNATE: NEW, INTERIOR NON-RATED WALLS WILL EXTEND TO DECK AND HAVE ACOUSTICAL BATT INSULATION.

**ADD ALTERNATE 4:**  
BASE BID: CORRIDOR 495 AND 4100 WILL REMAIN AS IS.  
ALTERNATE: DOOR AND ASSOCIATE WALL IN CORRIDOR 4100 TO BE REMOVED FROM FLOOR TO 6" BELOW THE LOWEST ADJACENT CEILING. DOOR HARDWARE TO BE SALVAGED. PATCHALL FINISHES TO MATCH EXISTING CONDITIONS. A NEW DOOR AND WALL WILL BE INSTALLED IN CORRIDOR 495 WITH SALVAGED DOOR HARDWARE. THE NEW DOOR IS REQUIRED TO TIE INTO THE ALARM SYSTEM TO ALLOW PUBLIC EGRESS IN AN EMERGENCY.

**ADD ALTERNATE 5:**  
BASE BID: TYPICAL WALL BASE WILL BE RUBBER, AS NOTED IN FINISH SCHEDULE.  
ALTERNATE: TYPICAL WALL BASE WILL BE WOOD, AS NOTED IN FINISH SCHEDULE.

**ADD ALTERNATE 6:**  
BASE BID: NO SCOPE.  
ALTERNATE: EXTEND CARPET IN CORRIDOR 495 DOWN TO NEW DOOR (ADDED AS PART OF ADD ALTERNATE 4).

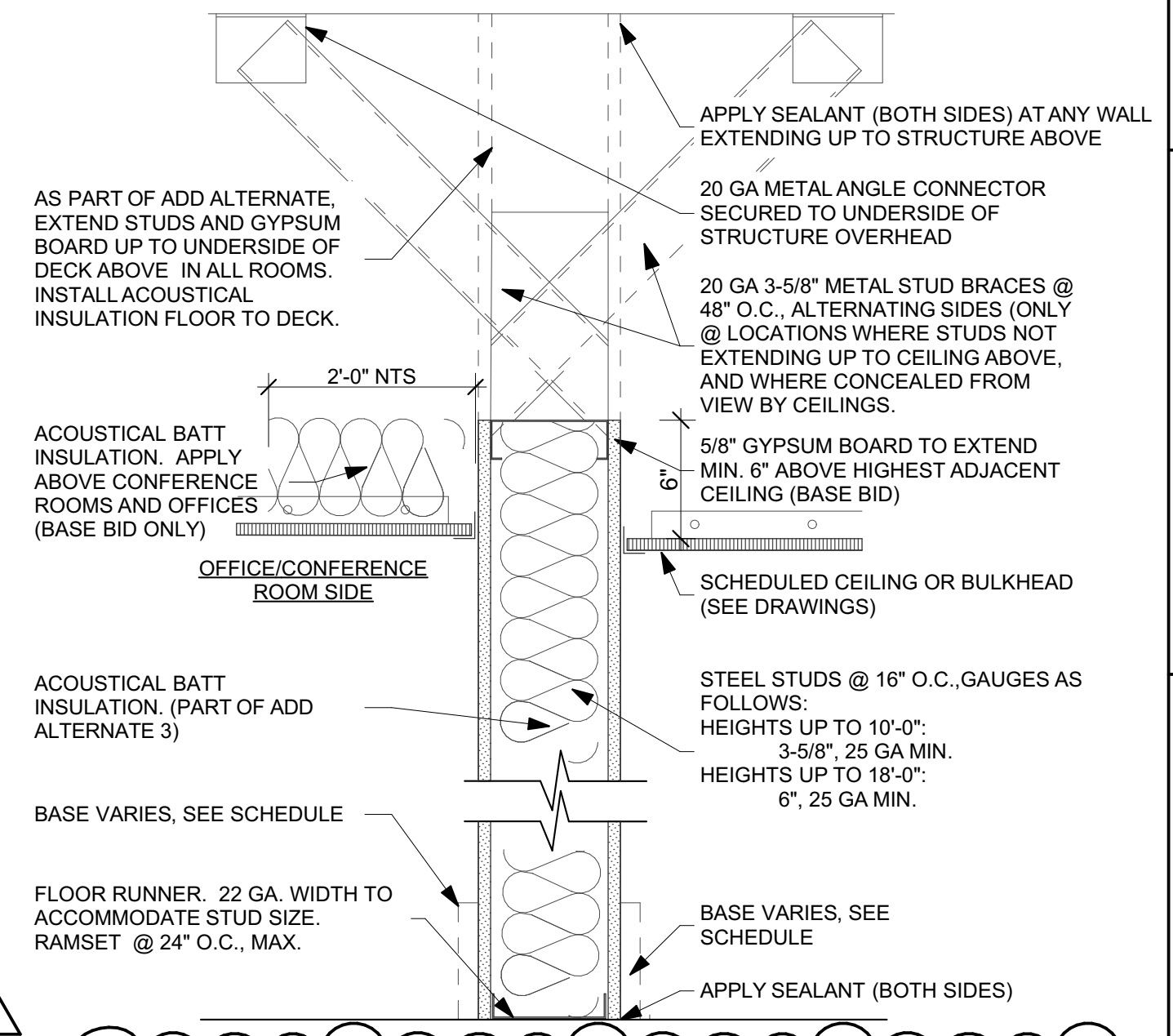
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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SEQUENCING ALL WORK.
- THE CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY OWNER FOR ON SITE STORAGE OF CONSTRUCTION MATERIALS.
- ALL WORK PERFORMED SHALL COMPLY WITH APPLICABLE OSHA/EPA REGULATIONS, CURRENT BUILDING CODES, AND GENERALLY ACCEPTED PROFESSIONAL CRAFTSMANSHIP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING AND MAINTAINING ALL REASONABLE SAFEGUARDS TO PROTECT THE GENERAL HEALTH SAFETY AND WELFARE OF THE GENERAL PUBLIC. THIS SHALL INCLUDE POSTING DANGER SIGNS, AND OTHER WARNING SIGNS AGAINST POTENTIAL HAZARDS, AS WELL AS ENFORCING SAFETY REGULATIONS.
- CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISE AT ALL TIMES AND SHALL CLEAN DEBRIS FROM CONSTRUCTION SITE DAILY.
- ALL DEBRIS GENERATED DURING CONSTRUCTION SHALL BE SORTED AND RECYCLED WHEREVER POSSIBLE AND AS CALLED FOR IN THE SPECIFICATIONS.
- ALL NEW WORK TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODES AS DESCRIBED ON THE LIFE SAFETY SHEET.
- THE CONTRACTOR SHALL MAKE AVAILABLE TO THE BUILDING INSPECTOR ANY DOCUMENTATION NECESSARY TO VERIFY THAT ALL PRODUCTS REQUIRING APPROVAL PER FS 553.842 ARE IN COMPLIANCE. SHOP DRAWINGS SIGNED AND SEALED BY A LICENSED FLORIDA ARCHITECT OR ENGINEER ARE REQUIRED FOR ALL SPECIALTY ITEMS SUCH AS SHADE CELLS AND PRE-ENGINEERED METAL BUILDING. SHOP DRAWINGS MUST BE SUBMITTED BY THE GC TO THE CITY OF TALLAHASSEE'S INSPECTION STAFF PRIOR TO INSTALLATION.
- WORK IS PERFORMED IN THE COURTHOUSE. CONTRACTOR TO FOLLOW ALL SECURITY MEASURES REQUIRED. DELIVERIES TO BE SCHEDULED BEFORE OR AFTER NORMAL BUSINESS HOURS.

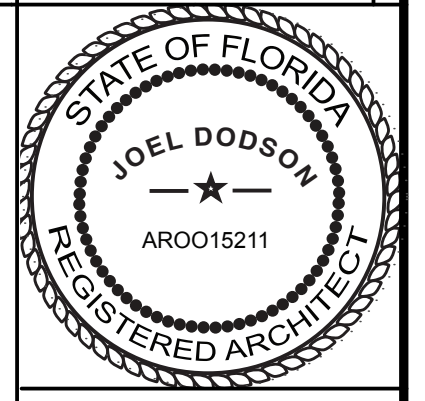
### GENERAL NOTES

### INTERIOR NON-RATED WALL

- NOTE:
- CONDITIONS SHOWN TYPICAL FOR ALL NEW NON-RATED INTERIOR STUD WALLS UNLESS NOTED OTHERWISE
  - SEAL PERIMETER OF WALL (BOTH SIDES) W/ SEALANT.
  - AS PART OF ADD ALTERNATE 3, EXTEND ALL WALLS TO THE DECK ABOVE & FILL WITH ACOUSTICAL BATT INSULATION.
  - THE FOLLOWING WALLS EXTEND TO THE DECK AS PART OF THE BASE BID:
    - ALL WALLS BOUNDING THE VACANT AREA. EXTEND ALL EXISTING WALLS TO REMAIN UP TO THE DECK ABOVE AT THIS LOCATION
    - NEW WALL AT ENTRANCE TO COUNTY COURT/JUVENILE COURT



C6 TYPICAL NON-RATED INTERIOR WALL  
SCALE: 1 1/2" = 1'-0"



OFFICE OF THE STATE ATTORNEY,  
SECOND JUDICIAL CIRCUIT  
4th Floor Renovation,  
Suite 443  
301 S. MONROE ST.  
TALLAHASSEE, FL 32301  
PROJECT NUMBER: 19207

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS ARE THE PROPERTY OF THE DODSTONE GROUP. ARCHITECTS AND AS SUCH ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DODSTONE GROUP. ARCHITECTS IS PROHIBITED.

DATE	SUBMISSION TITLE
08/17/2018	100% CONSTRUCTION DOCUMENTS
10/26/2018	100% CONSTRUCTION DOCUMENTS PERMIT SET
DATE	REVISION TITLE
07/25/2019	ASB01: RESPONSE TO COMMENTS

CHECKED BY: **LEGENDS**  
DRAWN BY: **G002**

**ALTERATION LEVEL**  
SEE 6001 FOR AREA OF WORK  
AREA OF WORK AS DESIGNED = 5,372 GSF  
4TH FLOOR GROSS AREA = 60,800 GSF  
TOTAL = 8.83%

**USE & OCCUPANCY CLASSIFICATION**  
TYPE B - BUSINESS  
NO CHANGE IN CLASSIFICATION

**CONSTRUCTION TYPE**  
TYPE IB - SPRINKLERED  
STRUCTURAL MEMBERS, EXTERIOR WALLS,  
COLUMNS, BEAMS, GIRDERS, TRUSSES, &  
INTERIOR LOAD-BEARING WALLS ARE ALL  
2-HOUR RATED AND NON-COMBUSTIBLE.  
ROOFS AND ASSOCIATED SECONDARY  
MEMBERS ARE ALL 1-HOUR RATED AND NON-  
COMBUSTIBLE.  
MAINTAIN ALL EXISTING RATINGS  
MAINTAIN ALL RATINGS REQUIRED BY  
CONSTRUCTION TYPE.  
NO CHANGES ARE PROPOSED TO LOAD  
BEARING WALLS, STRUCTURAL MEMBERS,  
EXTERIOR WALLS, BEAMS, TRUSSES,  
COLUMNS, OR ROOFS.

**ALLOWABLE BUILDING HEIGHT**  
FBC TABLE 504.3  
180 FEET PERMITTED FOR B OCCUPANCIES  
PROJECT HAS NO IMPACT ON OVERALL  
BUILDING HEIGHT.

**ALLOWABLE NUMBER OF STORIES**  
FBC TABLE 504.4  
12 STORIES, ABOVE GRADE PLANE PERMITTED  
PROJECT HAS NO IMPACT ON NUMBER OF STORIES

**ALLOWABLE FLOOR AREA**  
FBC TABLE 506.2  
UNLIMITED ALLOWABLE. 4TH FLOOR IS 60,800 GSF  
PROJECT HAS NO IMPACT ON OVERALL FLOOR AREA OF  
THE 4TH FLOOR.

**OVERALL OCCUPANT LOAD ON FLOOR**  
BUSINESS = 1 PERSON/100GSF  
60,800/100 = 605 OCCUPANTS ON THE FLOOR  
NO IMPACT ON OVERALL OCCUPANT LOAD

**OCCUPANT LOAD IN STATE ATTORNEY'S SUITE**  
BUSINESS = 1 PERSON/100GSF  
4,432/100 = 45 OCCUPANTS

**OCCUPANT LOAD IN PROBATION OFFICE'S SUITE**  
BUSINESS = 1 PERSON/100GSF  
311/100 = 4 OCCUPANTS

**OCCUPANT LOAD IN VACANT SUITE**  
BUSINESS = 1 PERSON/100GSF  
597/100 = 6 OCCUPANTS  
(BUSINESS OCCUPANCY USED AS THAT IS THE  
ANTICIPATED USE IN THE FUTURE)

**SINGLE MEANS OF EGRESS**  
SINGLE EGRESS ALLOWABLE IN AREAS WITH A MAXIMUM  
OCCUPANT LOAD OF 49.  
MAXIMUM COMMON PATH OF TRAVEL IN THESE AREA = 100 FT  
ONLY 1 MEANS OF EGRESS REQUIRED FROM EACH SUITE  
TWO PROVIDED FROM THE STATE ATTORNEY'S SUITE

**DEAD END CORRIDORS**  
50 FEET MAX. ALLOWED  
49'-8" WORST CASE SCENARIO

**COMMON PATH OF TRAVEL**  
100 FEET MAX. ALLOWED  
68'-0" WORST CASE SCENARIO

**TRAVEL DISTANCE**  
300 FEET MAX. ALLOWED  
126'-0" WORST CASE SCENARIO

**OCCUPANCY SEPARATION REQUIREMENTS**  
1-HOUR REQUIRED BETWEEN ASSEMBLY <300 AND BUSINESS  
ALL ADJACENT AREAS ON THE FLOOR ARE BUSINESS  
NO WALL RATINGS REQUIRED  
EXISTING FLOOR RATING TO BE MAINTAINED.  
NO NEW FLOOR PENETRATIONS ANTICIPATED EXCEPT AS  
NOTED ON PLUMBING DRAWINGS.

**EGRESS WIDTH REQUIREMENTS**  
44" CLEAR REQUIRED FOR BUSINESS SERVING <220 PEOPLE  
ALL CORRIDORS IN WORK AREA EXCEED THAT WIDTH

**INTERIOR FINISH REQUIREMENTS**  
PER TABLE 803.11 FOR BUSINESS OCCUPANCIES  
CLASS B = EXIT PASSAGEWAYS  
CLASS C = EXIT ACCESS CORRIDORS  
CLASS C = ALL OTHER ROOMS & ENCLOSED SPACES

**FLORIDA APPROVAL NUMBERS:**  
NOT APPLICABLE. NO WORK IS BEING PERFORMED ON THE  
EXTERIOR ENVELOPE OF THE BUILDING

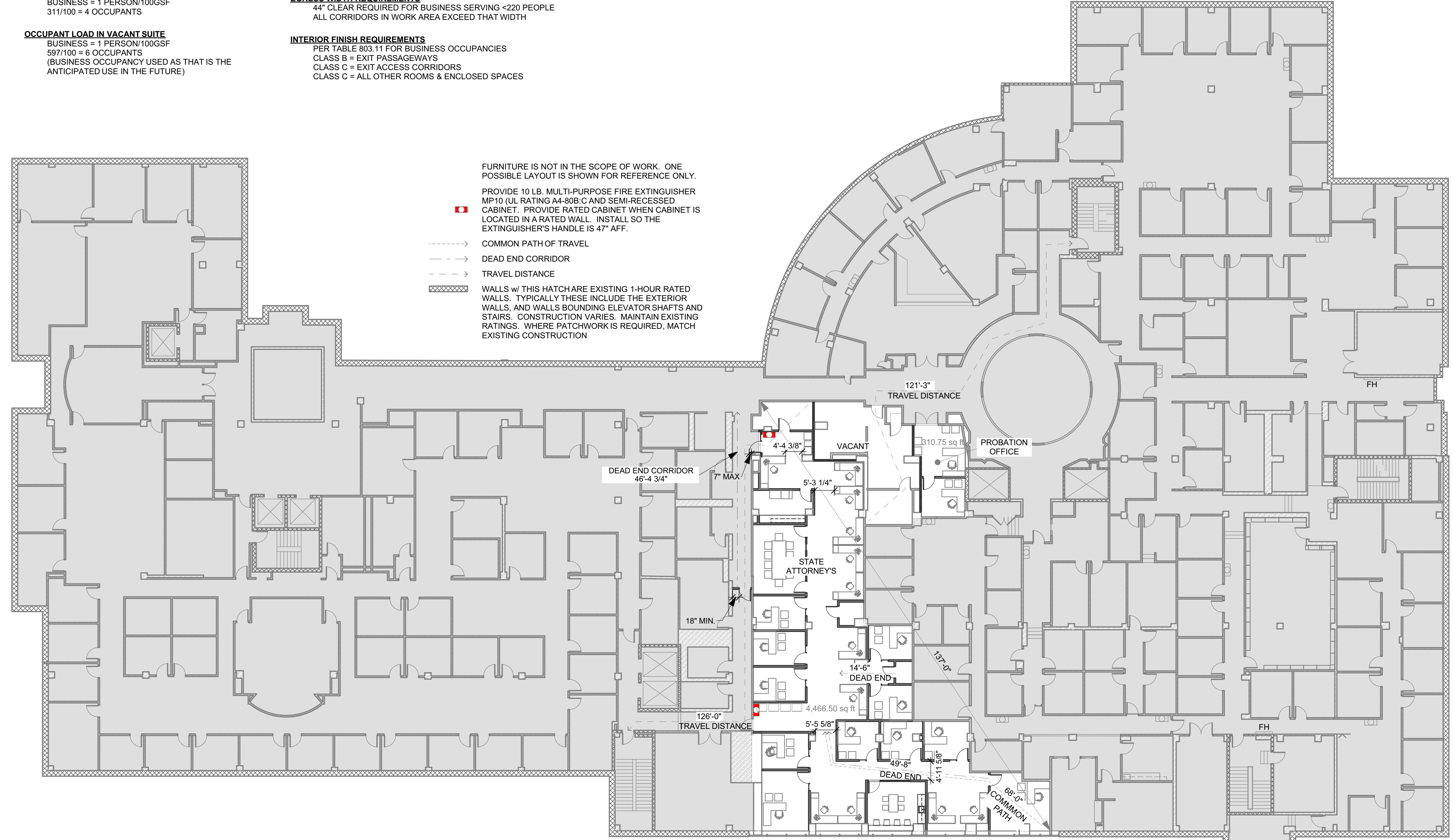
**APPLICABLE BUILDING CODES**

ALL NEW WORK TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODES ADOPTED BY THE BUILDING  
AUTHORITIES HAVING JURISDICTION. WHERE CONFLICTS OCCUR BETWEEN CODES OR BETWEEN  
CONSTRUCTION DOCUMENTS AND CODES, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

FLORIDA BUILDING CODE, BUILDING	6th EDITION, 2017
FLORIDA BUILDING CODE, EXISTING BUILDING	6th EDITION, 2017
FLORIDA BUILDING CODE, ACCESSIBILITY CODE	6th EDITION, 2017
FLORIDA BUILDING CODE, ENERGY CONSERV.	6th EDITION, 2017
FLORIDA BUILDING CODE, MECHANICAL	6th EDITION, 2017
FLORIDA BUILDING CODE, FUEL GAS	6th EDITION, 2017
FLORIDA BUILDING CODE, PLUMBING	6th EDITION, 2017
FLORIDA FIRE PREVENTION CODE	6th EDITION, 2017
NATIONAL ELECTRICAL CODE	2014 EDITION
NFPA 101 - LIFE SAFETY CODE	2015 EDITION

GC'S SUBS TO SUBMIT FIRE ALARM SYSTEM, AND FIRE SPRINKLER SYSTEM FOR A SEPARATE PERMIT IF  
REQUIRED BY THE PERMITTING AGENCY. SHOP DRAWINGS MUST BE SUBMITTED BY THE GC TO THE CITY OF  
TALLAHASSEE'S INSPECTION STAFF PRIOR TO INSTALLATION.

DISPOSE OF ALL NON-ACCEPTABLE AND/OR REGULATED CONSTRUCTION AND DEMOLITION DEBRIS,  
LANDFILL MATERIAL, OR OTHER REGULATED ITEMS SUCH AS FLUORESCENTS, BALLASTS, HID LAMPS,  
MERCURY CONTAINING SWITCHES AND THERMOSTATS, NEON SIGNS, LEAD AND OTHER RECHARGEABLE  
BATTERIES, PAINTS, PESTICIDES, AND OTHER CHEMICALS LEGALLY. OTHER MATERIALS MAY BE  
IDENTIFIED. IF YOU ARE UNCERTAIN IF AN ITEM IS REGULATED, CONTACT THE WATER QUALITY DIVISION'S  
AQUIFER PROTECTION SECTION AT EITHER (850) 891-1227 OR (850) 891-1226. PRIOR TO THE REMOVAL OF  
REGULATED MATERIALS LISTED ABOVE, CONTRACT THE AQUIFER PROTECTION SECTION. RECEIPTS FOR  
PROPER DISPOSAL MUST BE PRESENTED. FAX COPIES OF RECEIPTS TO (850) 891-1062.



FURNITURE IS NOT IN THE SCOPE OF WORK. ONE  
POSSIBLE LAYOUT IS SHOWN FOR REFERENCE ONLY.

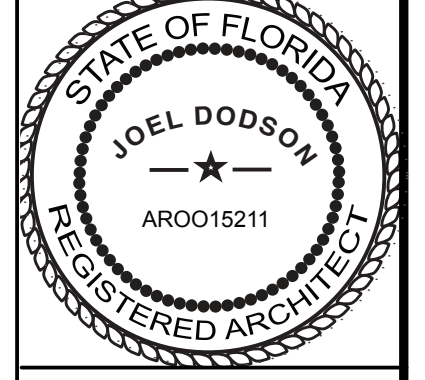
PROVIDE 10 LB. MULTI-PURPOSE FIRE EXTINGUISHER  
MP10 (UL RATING A4-80B-C AND SEMI-RECESSED  
CABINET. PROVIDE RATED CABINET WHEN CABINET IS  
LOCATED IN A RATED WALL. INSTALL SO THE  
EXTINGUISHER'S HANDLE IS 47" AFF.

---> COMMON PATH OF TRAVEL  
---> DEAD END CORRIDOR  
---> TRAVEL DISTANCE

WALLS w/ THIS HATCH ARE EXISTING 1-HOUR RATED  
WALLS. TYPICALLY THESE INCLUDE THE EXTERIOR  
WALLS, AND WALLS BOUNDING ELEVATOR SHAFTS AND  
STAIRS. CONSTRUCTION VARIES. MAINTAIN EXISTING  
RATINGS. WHERE PATCHWORK IS REQUIRED, MATCH  
EXISTING CONSTRUCTION

**A2 LIFE SAFETY PLAN**  
SCALE: 1/16" = 1'-0"

**DODSTONE ARCHITECTS**  
3011-1 Powell Road | Tallahassee, FL 32308  
850.666.7526 | #A23801632  
JOEL DODSON | ARO015211 | #A23801632



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AS INSTRUMENTS OF SERVICE,  
THESE DRAWINGS OR USE OF  
THESE DRAWINGS OTHER THAN  
WITHOUT WRITTEN CONSENT  
FROM THE DODSTONE GROUP  
ARCHITECTS IS PROHIBITED.

DATE	SUBMISSION TITLE
09/17/2018	80% CONSTRUCTION DOCUMENTS
10/26/2018	100% CONSTRUCTION DOCUMENTS
10/26/2018	PERMIT SET
DATE	REVISION TITLE
07/25/2019	ASB01: RESPONSE TO COMMENTS

**LIFE SAFETY PLAN**  
**LS001**